



BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR

Yaniv Aronson

BOROUGH COUNCIL

Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

JULY 17, 2023, ZONING HEARING BOARD MEETING PACKET

334 East 7th Avenue
301 West 11th Avenue
150 West 8th Avenue
46 Fayette Street

Page 2
Page 24
Page 46
Page 60



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ZONING NOTICE JULY 17, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-10

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on July 17, 2023, at 7:00 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: Richard Dunn
334 East 7th Avenue, Conshohocken, PA 19428

PREMISES INVOLVED: 334 East 7th Avenue
Conshohocken, PA 19428
BR-1 - Borough Residential District 1

OWNER OF RECORD: Richard Dunn and Danielle Rementer-Keys
334 East 7th Avenue, Conshohocken, PA 19428

The petitioner is seeking a variance from Section 27-1005.F of the Conshohocken Borough Zoning Ordinance to construct an approximately 120 SF to 140 SF roof addition over about a half portion of a rear patio which would result in a maximum building coverage of 38% for the lot, whereas the maximum building coverage shall not exceed 35% of the lot area within the BR-1 - Borough Residential District 1.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

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Stephanie Cecco
Borough Manager

Date: July 12, 2023
To: Stephanie Cecco, Brittany Rogers
From: Allison A. Lee, PE
Re: 334 East Seventh Avenue – Zoning Determination

History of the Site:

334 East Seventh Avenue is a 1,060 SF existing single-family detached residential dwelling located within the BR-1 – Borough Residential District 1 zoning district. The 4,200 SF property was part of the 701 Jones Street subdivision and land development application from 2019 with the existing dwelling constructed in 2020. The site is fronted by East Seventh Avenue to the south; an unnamed alley (20' right-of-way) to the north and rear of the property; and residential properties also located within the BR-1 zoning district to the east and west. An off-street parking area for two (2) parking spaces and a one (1)-story 395 SF garage is located off of the unnamed alley to the rear of the site.

Current Request:

Pursuant to a building permit application submission, the Applicant, Richard Dunn, is proposing to demolish the existing 10' wide x 12' long (120 SF) deck attached to the rear of the dwelling and construct a new larger 12' wide x 20' long (240 SF) deck. In accordance with the zoning application, the Applicant is proposing to cover an approximately 120 SF to 140 SF portion of a newly built patio for a 240 SF deck with a gable roof. The Applicant is seeking a variance from the Conshohocken Borough Zoning Code Section §27-1005.F to allow for an exceedance in the maximum 35% building coverage within the BR-1 – Borough Residential District 1 zoning district.

Zoning Determination:

In accordance with the Conshohocken Borough Zoning Code Section §27-202, the following definitions apply:

Building Coverage – The ration obtained by dividing the maximum horizontal cross-section of all principal and accessory buildings on a lot (including balconies, covered porches, carports and breezeways, but excluding patios and decks) by the total area upon which the buildings are located.

Deck – An elevated platform constructed no higher than the elevation of the first floor of a dwelling building, and attached to the rear or side of such dwelling, which is designed to provide outdoor living area, but having no roof or walls higher 42 inches in height.

Porch – A roofed or unroofed structure projecting from the front, side or rear wall of a building.

Porch, Enclosed – A structure attached to a dwelling providing outdoor living space, which has a roof and supporting columns but which is open on three sides and has no walls or railings higher than 42 inches. Unenclosed porches may be screened but may not be winterized for year-round use.

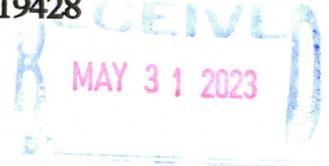
Structure – Any man-made object having an ascertainable stationary location on or in land or water, whether or not affixed to the ground.

The Applicant is proposing to add a gable roof over approximately 120 SF to 140 SF of the newly built patio that will be constructed to a 240 SF deck structure. The proposed portion of the deck structure with a roof is considered an enclosed porch by definition. Therefore, the building coverage for the covered porch will need to be included in the building coverage calculation. The resulting building coverage for the site with the covered porch will increase from 35% to approximately 38%.

Per the Conshohocken Borough Zoning Code Section §27-1005.F, the maximum building coverage shall not exceed 35% of the lot area. Therefore, the Applicant is required to seek a variance from Zoning Code Section §27-1005.F to permit a maximum building coverage of 38% on the lot, whereas the maximum building coverage of 35% is permitted within the BR-1 – Borough Residential District 1 zoning district.



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920



Zoning Application

Application: Z-2023-10
Date Submitted: 5/31/23
Date Received: 5/31/23

1. Application is hereby made for:

Special Exception Variance

Appeal of the decision of the zoning officer

Conditional Use approval Interpretation of the Zoning Ordinance

Other _____

2. Section of the Zoning Ordinance from which relief is requested:

27-1005: The maximum building coverage shall not exceed 35% of the lot area

3. Address of the property, which is the subject of the application:

334 E 7th Ave, Conshohocken, PA 19428

4. Applicant's Name: Richard Dunn

Address: 334 E 7th Ave, Conshohocken, PA

Phone Number (daytime): 610.909.1251

E-mail Address: rdunn_43@yahoo.com

5. Applicant is (check one): Legal Owner Equitable Owner ; Tenant

6. Property Owner: Richard Dunn & Danielle Rementer-Keys

Address: 334 E 7th Ave, Conshohocken, PA 19428

Phone Number: 610.909.1251

E-mail Address: rdunn_43@yahoo.com

7. Lot Dimensions: 4,200 sqft Zoning District: BR-1

8. Has there been previous zoning relief requested in connection with this Property?
Yes No If yes, please describe.

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

Primary residence

House - 1,060 sqft

Garage - 395 sqft

Lot size - 4,200 sqft

10. Please describe the proposed use of the property.

Primary residence

11. Please describe proposal and improvements to the property in detail.

Build a partial roof over (approximately 120-140 sqft) newly built patio.

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

The applicant desires to build permanent roof over part of a newly constructed porch. The calculated building coverage is approx 37.5%, only 2.5% over the 35% building coverage permitted. This will continue to improve the value of the home and offer additional living space.

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property: Single Family Dwelling and Detached Garage

No unique characteristics.

b. How the Zoning Ordinance unreasonably restricts development of the property:

The applicant is seeking to improve upon the comfort of the property by improving the current wooden deck with composite material and allowing for multi-season usage through building a roof.

c. How the proposal is consistent with the character of the surrounding neighborhood. _____

Within the neighborhood, there are multiple patios and decks with roofs.

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed.

This proposed 120-140 sqft roof will cover only half of the patio.

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.

a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

N/A

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

N/A

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

N/A

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

N/A

c. Please describe in detail the reasons why the requested relief should be granted.

N/A

16. If the applicant is being represented by an attorney, please provide the following information.

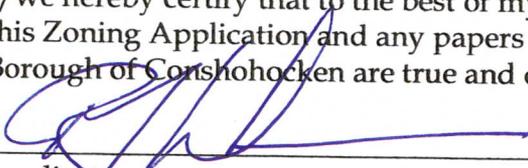
a. Attorney's Name: N/A

b. Address: _____

c. Phone Number: _____

d. E-mail Address: _____

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.



Applicant

Legal Owner

5/31/2023

Date

COMMONWEALTH OF PENNSYLVANIA

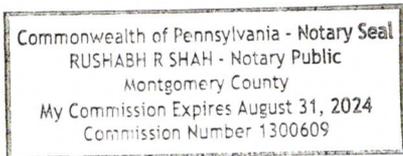
COUNTY OF MONTGOMERY

As subscribed and sworn to before me this 31st day of May, 2023.



Notary Public

(Seal)





BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Decision

(For Borough Use Only)

Application Granted

Application Denied

MOTION:

CONDITIONS:

BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

DATE OF ORDER: _____



Contact Borough Office for Pre-Application Meeting

BUILDING PERMIT APPLICATION PACKET PERMIT # 23-00246

For Zoning Use Only
 Present Zoning District: AR-1 Lot Size: 4,200 SF
 Proposed Zoning Use: Single Family Approved or Disapproved
 Conditions: detached deck, railing
 Date proposed work was reviewed by zoning: 04/12/2023
 Has the Zoning Board of Conshohocken issued a special
 exception, variance, or other ruling concerning this proposed
 work or zoning
 classification? _____

For Office Use Only
 Date Application Received: _____
 Receipt # 2301159
 Permit Fee \$ 229.50 Cash Check # _____
 Parcel # 0-500- _____
 Date Permit Issued: _____ Issued By _____

TYPES OF PERMITS THAT YOU ARE APPLYING FOR (PLEASE CHECK ALL THAT APPLY)

<input checked="" type="checkbox"/> YES or NO	Building	Total Fee \$	<u>225</u> .00
<input type="checkbox"/> YES or NO	Electrical	Total Fee \$.00
<input type="checkbox"/> YES or NO	Voice/Data (Commercial only)	Total Fee \$.00
<input type="checkbox"/> YES or NO	Plumbing	Total Fee \$.00
<input type="checkbox"/> YES or NO	Sewer	Total Fee \$.00
<input type="checkbox"/> YES or NO	Mechanical	Total Fee \$.00
<input type="checkbox"/> YES or NO	Fire Alarm (Commercial only)	Total Fee \$.00
<input type="checkbox"/> YES or NO	Sprinkler	Total Fee \$.00
<input type="checkbox"/> YES or NO	PA State Surcharge	Total Fee \$	4.50
TOTAL COST OF PERMIT		\$	<u>229.5000</u>

APR 18 2023

Project Address 334 E 7th Floor or Suite # _____, CONSHOHOCKEN, PA 19428
 New Construction Addition Alteration Deck Tenant Fit-Out Demo Roof Other New Deck

USE GROUP (Please check Residential or Commercial and check which use group applies)
Commercial applications require drawings prepared by a licensed design professional

Residential = Single Family Dwelling or Two Family Dwelling OR
 Commercial = Business/Office Restaurant Apartment Building Triplex Other _____

PROPERTY INFORMATION

Property Owner's Name Rick Dunn
 Property Owner's Mailing Address 334 E 7th
 Property Owner's Daytime Phone (610) 909-1251 Cell Phone () _____
 Fax # () _____ E-Mail Address _____

APPLICANT'S INFORMATION (if different than Property Owner)

Applicant's Name (Contact Person) Tom Jones
 Company's Name Thomas Andrew Homes Inc.
 Applicant's Address 1312 Wood St Consh. PA 19428
 Applicant's Daytime Phone () _____ Cell Phone (610) 637-1998
 Fax # () _____ E-Mail Address thomasandrewhomes@verizon.net

Applicant's Borough of Conshohocken Contractor's License # _____ Check if applying today
 Is there a written contract between the Owner and the Contractor? Yes Copy Must Be Attached or No

The information provided in this Application is true and correct to the best of my knowledge, information and belief and that these statements are made subject to the penalties of 18 Pa. C.S.A. Section 4904 relating to unsworn falsification to authorities. The undersigned is the owner of said structure or has been authorized by the owner(s) to act as agent in procuring the building permit herein requested. The undersigned also takes full responsibility for all work performed and will comply with all provisions of the Zoning Ordinance, the Building Code and with all other applicable ordinances of Conshohocken.

APPLICATION MUST BE APPROVED, PERMIT ISSUED AND POSTED ON JOB SITE PRIOR TO BEGINNING WORK!

[Signature]
 Signature of Owner

5/4/23
 Date

(OFFICE USE ONLY) Permit # _____ and Project Address _____

BUILDING PERMIT SECTION

I hereby make application to (state nature of work) Buld New Deck
Remove old Deck

BUILDING CONTRACTOR INFORMATION

Field	Contractor's Name	Street Address	City/State/Zip	Phone	BOC Lic # or v if applying today
General Contractor -	<u>Thomas Andrew Hones</u>	<u>1312 Wood St.</u>	<u>Cosh</u>	<u>PA</u>	<u>19428</u>
Excavation -	<input checked="" type="checkbox"/>				
Concrete -	<input checked="" type="checkbox"/>				
Masonry -	<input type="checkbox"/>				
Carpentry -	<input checked="" type="checkbox"/>				
Insulation -	<input type="checkbox"/>				
Drywall -	<input type="checkbox"/>				
Painting -	<input type="checkbox"/>				
Roofing -	<input checked="" type="checkbox"/>				
Paving -	<input type="checkbox"/>				

Estimated cost of construction (Building construction only) \$ 20000.00 Total Permit Fee \$ _____

BUILDING PERMIT FEE SCHEDULE

Residential Permit Fee: minimum \$35 up to \$1000 plus \$10 each additional \$1000 or portion of.
Commercial Permit Fee: minimum \$55 up to \$1000 plus \$10 each additional \$1000 or portion of.

(OFFICE USE ONLY) Building permit application reviewed by _____ and approved _____ / _____ / _____

ELECTRICAL PERMIT SECTION

I hereby make application to (state nature of work) Lights & Fan

Is a new service being added? If so _____ -AMPS

ELECTRICAL CONTRACTOR INFORMATION

Electrical Contractor's Name	Street Address	City/State/Zip	Phone	BOC Lic # or v if applying today
<u>Bob Kenna</u>	<u>Hughes Rd</u>	<u>Forest</u>	<u>Delaware</u>	<u>Upper Merion</u>

Estimated cost of Electrical work \$ 750 Total Permit Fee \$ _____

ELECTRICAL PERMIT FEE SCHEDULE

Residential and Commercial Electrical Permit Fee: minimum \$75.00 plus 2% of the total cost of construction (rounded up to the next \$100.00 increment)
For projects exceeding 1 Million dollars please call the Borough.

(OFFICE USE ONLY) Electrical permit application reviewed by _____ and approved _____ / _____ / _____

VOICE/DATA PERMIT SECTION

I hereby make application to (state nature of work) _____

VOICE/DATA CONTRACTOR INFORMATION

VOICE/DATA Contractor's Name	Street Address	City/State/Zip	Phone	BOC Lic # or v if applying today

Estimated cost of Voice/Data work \$ _____ Total Permit Fee \$ _____

VOICE/DATA PERMIT FEE SCHEDULE

Commercial Voice/Data Permit Fee: minimum \$75.00 plus 5% of the total cost of construction (rounded up to the next \$100.00 increment)
No Voice/Data permit is required for Residential work. For projects exceeding 1 Million dollars please call the Borough.

(OFFICE USE ONLY) Voice/Data permit application reviewed by _____ and approved _____ / _____ / _____

(OFFICE USE ONLY) Permit # _____ and Project Address _____

PLUMBING PERMIT SECTION

I hereby make application to (state nature of work and materials to be used) _____

Number of plumbing fixtures _____

PLUMBING CONTRACTOR INFORMATION

PLUMBING Contractor's Name Street Address City/State/Zip Phone BOC Lic # or v if applying today

Estimated cost of Plumbing work \$ _____ Total Permit Fee \$ _____

PLUMBING PERMIT FEE

Residential	Permit Fee
New Construction (plumbing) single family dwelling per unit	\$300.00
Minimum permit (includes first 3 fixtures)	\$50.00
Each additional fixture	\$25.00
Water heater	\$50.00
Non-Residential	
Minimum permit first \$1000 cost of work	\$75.00
For each additional increment of \$1000 or portion of	\$10.00
Miscellaneous	
Irrigation systems per backflow device	\$75.00

(OFFICE USE ONLY) Plumbing permit application reviewed by _____ and approved _____ / _____ / _____

SEWER PERMIT SECTION

I hereby make application to connect building Main Drain to public Sanitary Sewer

Size of main drain _____ Size of pipe to be installed _____

Type of pipe to be installed _____ Type of joints in pipe _____

Location of fresh air inlet _____ No of plumbing fixtures inside building _____

No of garbage grinders in building _____ No of dwelling units inside building _____

Water supply: Public or Private Does the building presently have a private disposal system? YES or NO

Are the existing connections on the property from which storm water could enter sewer? YES or NO

SEWER CONTRACTOR INFORMATION

Sewer Contractor's Name Street Address City/State/Zip Phone BOC Lic # or v if applying today

Estimated cost of Sewer work \$ _____ Total Permit Fee \$ _____

SEWER PERMIT FEE SCHEDULE

Building sewer including traps, new or replacement	\$100.00
Storm sewer work per inlet	\$75.00

(OFFICE USE ONLY) Sewer permit application reviewed by _____ and approved _____ / _____ / _____

MECHANICAL PERMIT SECTION

I hereby make application to (state nature of work and materials to be used) _____

MECHANICAL CONTRACTOR INFORMATION

Mechanical Contractor's Name Street Address City/State/Zip Phone BOC Lic # or v if applying today

Estimated cost of Mechanical work \$ _____ Total Permit Fee \$ _____

MECHANICAL PERMIT FEE SCHEDULE

Residential	Permit Fee
New Construction (mechanical) single family dwelling per unit	\$200.00
Boiler or Furnace up to 250,000 Btu's (\$10.00 per 100 BTU's over 250,000)	\$50.00
Air condition or heat pump	\$50.00
Fuel gas piping \$10.00 per outlet (first 5 outlets min Permit Fee)	\$50.00
Non-Residential	
Minimum permit first \$1000 cost of work	\$75.00
For each additional increment of \$1000 or portion of	\$10.00

(OFFICE USE ONLY) Mechanical permit application reviewed by _____ and approved _____ / _____ / _____

(OFFICE USE ONLY) Permit # _____ and Project Address _____

FIRE ALARM PERMIT SECTION

I hereby make application to (state nature of work and materials to be used) _____

Type of system _____
of fire alarm initiating devices being installed or modified _____
Local alarm notification or off site alarm monitoring _____

FIRE ALARM CONTRACTOR INFORMATION

Fire Alarm Contractor's Name _____ Street Address _____ City/State/Zip _____ Phone _____ BOC Lic # or v if applying today _____

Estimated cost of Fire Alarm work \$ _____ Total Permit Fee \$ _____

FIRE ALARM FEE SCHEDULE			
Number of Fire Alarm Devices - With 2 Inspections (1 Rough & 1 Final)			
1 to 10	\$255.00	76 to 100	\$1170.00
11 to 25	\$360.00	100 to 125	\$1335.00
26 to 50	\$540.00	Over 125 = \$1335.00 plus \$4.00 for each device over 125	
51 to 75	\$1020.00		

(OFFICE USE ONLY) Fire Alarm permit application reviewed by _____ and approved _____ / _____ / _____

SPRINKLER PERMIT SECTION

I hereby make application to (state nature of work and materials to be used) _____

Type of system _____
Installation of Fire Pump YES or NO Standpipes YES or NO Fire System Lateral YES or NO
of sprinkler heads being installed or modified _____ # of separate range hood systems being installed _____

SPRINKLER CONTRACTOR INFORMATION

Sprinkler Contractor's Name _____ Street Address _____ City/State/Zip _____ Phone _____ BOC Lic # or v if applying today _____

Estimated cost of Sprinkler work \$ _____ Total Permit Fee \$ _____

FIRE SUPPRESSION SYSTEMS (COMMERCIAL)		RESTAURANT WET CHEMICAL SYSTEM	
Number of Sprinklers - With 2 Inspections (1 Rough & 1 Final)		Numbers of Nozzles - Inspection and Balloon test	
1 to 20	\$155.00	1 to 15	\$250.00
21 to 100	\$340.00	16 to 30	\$390.00
101 to 200	\$680.00	31 to 50	\$625.00
201 to 300	\$920.00	Over 50 = \$625.00 plus \$10.00 for each nozzle over 50	
301 to 500	\$1540.00	GAS SUPPRESSION SYSTEMS OR DRY CHEMICAL SYSTEMS (FM200)	
Over 500 = \$1540.00 plus \$1.16 for each sprinkler over 500		Pounds of Agent - With 2 Inspections (1 Rough & 1 Final)	
FIRE SUPPRESSION SYSTEMS (RESIDENTIAL 13D)		1 to 50	\$330.00
Numbers of Sprinklers - With 2 Inspections (1 Rough & 1 Final)		51 to 100	\$400.00
1 to 25	\$75.00	101 to 200	\$410.00
26 to 50	\$110.00	201 to 300	\$430.00
51 to 100	\$140.00	301 to 400	\$465.00
Over 100 = \$140.00 plus \$1.16 for each sprinkler over 100		401 to 500	\$865.00
STANDPIPE, FIRE PUMPS, & UNDERGROUND WATER MAIN SYSTEMS		501 to 750	\$925.00
Standpipes	\$275.00	751 to 1000	\$980.00
Fire Pumps	\$255.00	Over 1000 = \$980.00 plus \$.46 for each pound of agent over 1000	
Underground Water Main	\$360.00		

(OFFICE USE ONLY) Sprinkler permit application reviewed by _____ and approved _____ / _____ / _____

OFFICE NOTES



BOROUGH OF CONSHOHOCKEN

BUILDING PERMIT CHECK LIST

The following checklist shall be completed and submitted with all Building Permit Applications:

(Check "YES" if included. Check "NO" if not included or not applicable)

- Two complete sets of signed/sealed plans and calculations (plus PDF file)**
- | YES | NO | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Architectural |
| <input type="checkbox"/> | <input type="checkbox"/> | Structural |
| <input type="checkbox"/> | <input type="checkbox"/> | Mechanical/HVAC |
| <input type="checkbox"/> | <input type="checkbox"/> | Electrical |
| <input type="checkbox"/> | <input type="checkbox"/> | Plumbing |
| <input type="checkbox"/> | <input type="checkbox"/> | Energy |
| <input type="checkbox"/> | <input type="checkbox"/> | Site (including parking and accessible routes) |
| <input type="checkbox"/> | <input type="checkbox"/> | Accessibility |
| <input type="checkbox"/> | <input type="checkbox"/> | Fire Alarm |
| <input type="checkbox"/> | <input type="checkbox"/> | Sprinkler System |
| <input type="checkbox"/> | <input type="checkbox"/> | Kitchen Exhaust |
| <input type="checkbox"/> | <input type="checkbox"/> | Kitchen Hood Suppression |
| <input type="checkbox"/> | <input type="checkbox"/> | Structural Calculations (signed/sealed by registered Engineer) |
| <input type="checkbox"/> | <input type="checkbox"/> | Mechanical Calculations (signed/sealed by registered Engineer) |
| <input type="checkbox"/> | <input type="checkbox"/> | Fire Sprinkler Hydraulic Calculations (signed/sealed by registered Engineer) |

Additional Submission Items:

- | | YES | NO | |
|-----|--------------------------|--------------------------|--|
| 1. | <input type="checkbox"/> | <input type="checkbox"/> | Completed Building Permit Application |
| 2. | <input type="checkbox"/> | <input type="checkbox"/> | Building Permit Application signed by Owner or Authorized Agent |
| 3. | <input type="checkbox"/> | <input type="checkbox"/> | Completed Electrical Permit Application |
| 4. | <input type="checkbox"/> | <input type="checkbox"/> | Completed Electrical Permit for Tele/Data |
| 5. | <input type="checkbox"/> | <input type="checkbox"/> | Completed HVAC Permit Application |
| 6. | <input type="checkbox"/> | <input type="checkbox"/> | Completed Use and Occupancy Application |
| 7. | <input type="checkbox"/> | <input type="checkbox"/> | Completed Plumbing Permit Application |
| 8. | <input type="checkbox"/> | <input type="checkbox"/> | Completed General Contractor Registration |
| 9. | <input type="checkbox"/> | <input type="checkbox"/> | Plumbing Contractor Registration |
| 10. | <input type="checkbox"/> | <input type="checkbox"/> | Plumbing connection application and fees completed |
| 11. | <input type="checkbox"/> | <input type="checkbox"/> | Completed Fire Alarm Application, with check list |
| 12. | <input type="checkbox"/> | <input type="checkbox"/> | Completed Fire Sprinkler Application |
| 13. | <input type="checkbox"/> | <input type="checkbox"/> | Fire alarm, sprinkler, and extinguishing systems contractor registration |
| 14. | <input type="checkbox"/> | <input type="checkbox"/> | Com-Check Energy Calculations (signed/sealed by registered Engineer) |
| 15. | <input type="checkbox"/> | <input type="checkbox"/> | Res-Check Energy Calculations (signed/sealed by registered Engineer) |

(Check "YES" if included. Check "NO" if not included or not applicable)

- | | YES | NO | |
|-----|--------------------------|--------------------------|---|
| 16. | <input type="checkbox"/> | <input type="checkbox"/> | Permit Fees (all permit fees shall be paid before plan reviews begin) |
| 17. | <input type="checkbox"/> | <input type="checkbox"/> | Approved Zoning Decision (if applicable) |
| 18. | <input type="checkbox"/> | <input type="checkbox"/> | Variance Copy (if applicable) |
| 19. | <input type="checkbox"/> | <input type="checkbox"/> | Recorded Land Development Plans (if applicable) |
| | a. | <input type="checkbox"/> | Land Development Agreement (if applicable) |
| | b. | <input type="checkbox"/> | Recorded Plans (if applicable) |
| | c. | <input type="checkbox"/> | Escrow Checks (if applicable) |
| | d. | <input type="checkbox"/> | Compliance Checklist Completed (if applicable) |
| 20. | <input type="checkbox"/> | <input type="checkbox"/> | Highway Occupancy Permit (if applicable) |
| 21. | <input type="checkbox"/> | <input type="checkbox"/> | NPDES Permit (if applicable) |
| 22. | <input type="checkbox"/> | <input type="checkbox"/> | 1 copy of geotechnical report (New Buildings and additions) |
| 23. | <input type="checkbox"/> | <input type="checkbox"/> | Special Inspection agency/agencies |
| 24. | <input type="checkbox"/> | <input type="checkbox"/> | Insurance Certificates (If not on file previously) |
| 25. | <input type="checkbox"/> | <input type="checkbox"/> | Emergency contact numbers for contractors |

*Other requirements as determined by the Building Code Official may be required based on scope of project.

Design Professional in Charge: _____

Signature: _____

Address: _____

City, State and Zip: _____

Phone Number: _____ **or Cell:** _____

Email: _____

Fax Number: _____

BUILDING PERMIT ISSUANCE CHECKLIST

BOROUGH OFFICIAL USE ONLY

Permit Being Issued: Building Demolition Foundation Only

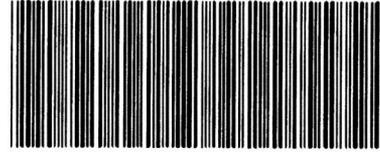
- Permit Fees Collected
 - Demolition Escrow Posted (Demolition Only Permits)
 - Demolition Inspection Escrow Posted (Demolition Only Permits)
 - Site Improvements Escrow Posted
 - Site Inspection, Administrative/Legal Escrow Posted (2 Checks)
 - Land Development Agreement Executed
 - Land Development Plans Recorded (3 hard copies and PDF set provided)
 - PDF set of Approved Building Plans
 - Inspection Tracking Form Completed and Attached to Permit
 - Construction Standards Booklet Attached to Permit
-



RECORDER OF DEEDS
MONTGOMERY COUNTY
Jeanne Sorg

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 6181 PG 01501 to 01505
INSTRUMENT # : 2020038842
RECORDED DATE: 05/29/2020 01:58:36 PM



5769473-0020-

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

Document Type: Deed
Document Date: 04/16/2020
Reference Info:

Transaction #: 6051649 - 2 Doc(s)
Document Page Count: 4
Operator Id: msanabia

RETURN TO: (Simplifile)
Terra Abstract Inc
1581 Main Street, Suite 200
Warrington, PA 18976
(215) 572-7750

PAID BY:
TERRA ABSTRACT INC

*** PROPERTY DATA:**

Parcel ID #: 05-00-07828-05-1
Address: E SEVENTH AVE

Municipality: PA
Conshohocken Borough
(100%)
School District: Colonial

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT: \$665,000.00

DEED BK 6181 PG 01501 to 01505
Recorded Date: 05/29/2020 01:58:36 PM

FEES / TAXES:

Recording Fee:Deed	\$86.75
Additional Names Fee	\$0.50
Affordable Housing Names	\$0.50
State RTT	\$6,650.00
Conshohocken Borough RTT	\$3,325.00
Colonial School District RTT	\$3,325.00
Total:	\$13,387.75

I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.



Jeanne Sorg
Recorder of Deeds

Rev1 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION

PREPARED BY:

Vested Abstract, LLC
The Shops at Valley Square
1581 Main Street, Suite 200
Warrington, PA 18976

RECORD AND RETURN TO:

Vested Abstract, LLC
The Shops at Valley Square
1581 Main Street, Suite 200
Warrington, PA 18976

File No.: VES20-1225-PUR

Parcel ID No.: 05-00-07828-05-1

THIS INDENTURE, made the 16th day of April, 2020

Between

720 SPRING MILL, L.P.

(hereinafter referred to as Grantor), of the one part, and

RICHARD DUNN, JR. AND DANIELLE REMENTER-KEYS, AS TENANTS BY THE ENTIRETY

(hereinafter referred to as Grantee), of the other part,

WITNESSETH, that the said Grantor for and in consideration of the sum of **Six Hundred Sixty-Five Thousand And No/100 Dollars (\$665,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantee

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

TOGETHER with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of them, the said Grantor, as well at law as in equity, of, in and to the same.

TO HAVE AND TO HOLD the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, their successors and assigns, to and for the only proper use and behoof of the said Grantee, their successors and assigns, forever.

AND the said Grantor, for itself and its heirs, executors and administrators, do, by these presents, covenant, grant and agree, to and with the said Grantee, their successors and assigns, that it, the said Grantor, and its heirs, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, their successors and assigns, against them, the said Grantor, and its heirs, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantor but not otherwise.

IN WITNESS WHEREOF, the parties of the first part have hereunto set their hands and seals the day and year first above written.

Sealed and Delivered
IN THE PRESENCE OF US:

720 Spring Mill, LP, by Tisons Homes, LLC, its
General Partner

BY: 

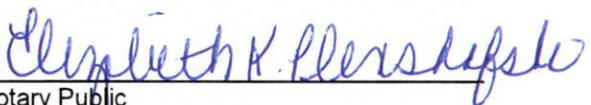
Charles S. Borkowski
Managing Member

STATE OF PA
COUNTY OF Bucks

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Elizabeth K. Plenskofski, Notary Public
Warrington Twp., Bucks County
My Commission Expires Dec. 30, 2020
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

On this the 16th of April, 2020, before me, the undersigned Notary Public, personally appeared Charles S. Borkowski, who acknowledged himself to be the Managing Member of Tisons Homes, LLC, General Partner of 720 Spring Mill, L.P., and he as such managing member being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the Company by himself as such managing member.

IN WITNESS WHEREOF, I hereunder set my hand and official seal.



Notary Public
My commission expires: _____

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Elizabeth K. Plenskofski, Notary Public
Warrington Twp., Bucks County
My Commission Expires Dec. 30, 2020
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

File No.: VES20-1225-PUR

Parcel ID No.: 05-00-07828-05-1

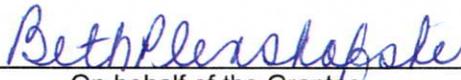
720 Spring Mill, L.P.
(Grantor)

TO

Richard Dunn, Jr. and Danielle Rementer-Keys, as tenants by the entirety
(Grantee)

The precise residence and the complete post office
address of the above-named Grantee is:

**334 East 7th Avenue
Foundry Way Phase 1; Lot 5
Conshohocken, PA 19428**


On behalf of the Grantee

Vested Abstract, LLC
The Shops at Valley Square
1581 Main Street, Suite 200
Warrington, PA 18976

EXHIBIT A

ALL THAT CERTAIN LOT or piece of ground with improvements to be made thereon Situate in the Borough of Conshohocken, County of Montgomery and Commonwealth of Pennsylvania bounded and described according to a Subdivision Plan of "701 Jones Street" made by Kimley-Horn and Associates, Inc. for 720 Spring Mill, L.P., a Pennsylvania limited partnership, dated 7-6-18 and last revised 9-21-19 and recorded in the Office for the Recorder of Deeds in and for the County of Montgomery at Norristown, Pennsylvania in Plan Book 50 page 234 as follows to wit:

BEGINNING at a point on the Northeasterly Right of Way Line of East Seventh Avenue (80.00 public right of way) a corner of this and Lot 4 as shown on said plan; thence extending from said place of beginning and along the said Lot 4 North 35 degrees 20 minutes 24 seconds East 140.00 feet to a point a corner of a certain 20.00 feet wide unnamed alleyway; thence extending along the same South 54 degrees 39 minutes 36 seconds East 30.00 feet to a point a corner of Lot 6; thence extending along the said Lot 6 South 35 degrees 20 minutes 24 seconds West 140.00 feet to a point a corner on the Northeasterly side of East Seventh Street aforesaid; thence extending along the same North 54 degrees 39 minutes 36 seconds West 30.00 feet to the first mentioned point and place of beginning.

BEING Lot 5

BEING Parcel Number 05-00-07828-05-1

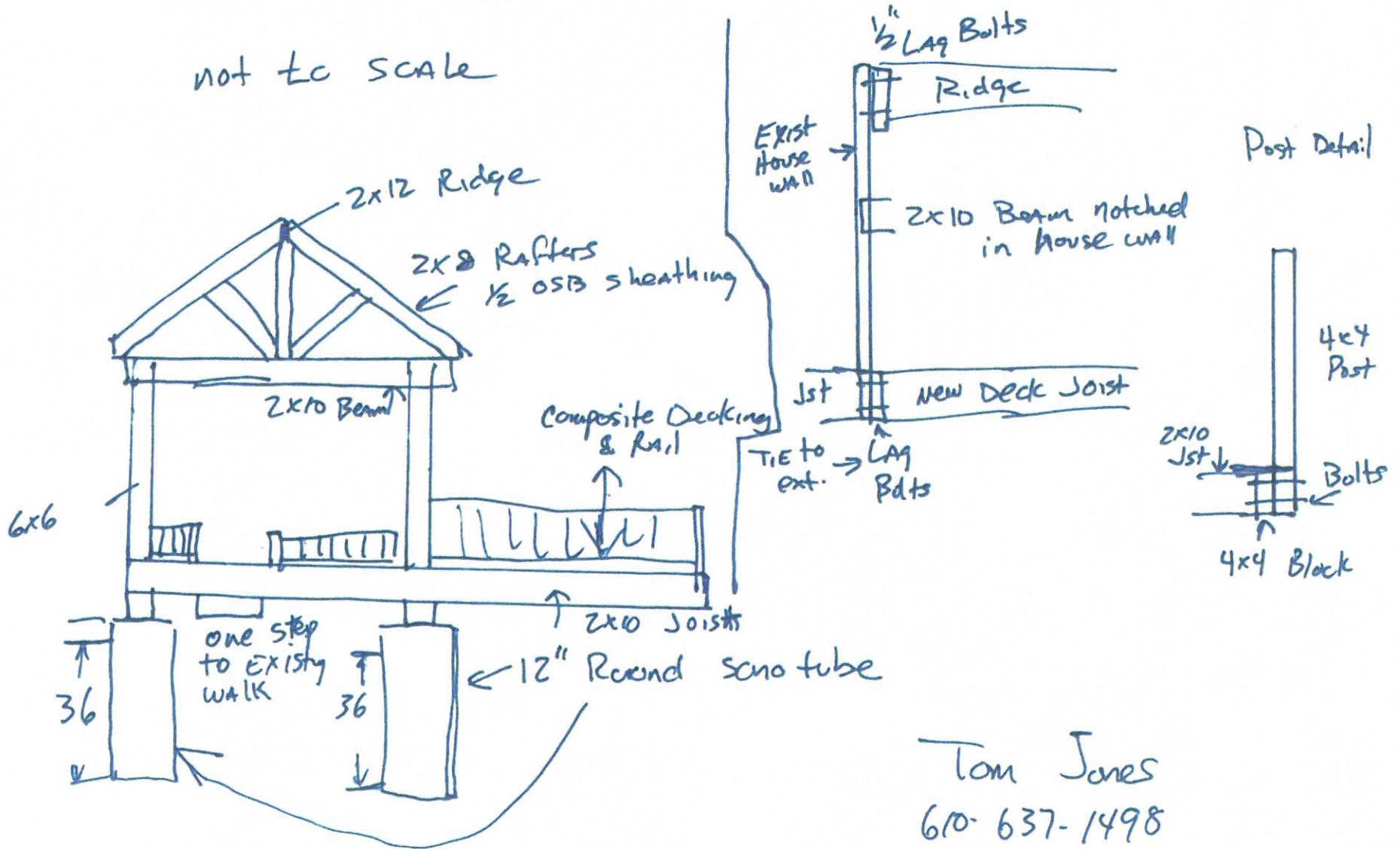
BEING a part of the same premises which Montgomery County Industrial Development Authority, a Pennsylvania Corporation, by Deed dated March 27, 1987 and recorded April 6, 1987 in the Recorder's Office of the County of Montgomery, Commonwealth of Pennsylvania in Deed Book 4833, Page 2365, granted and conveyed unto Hale Fire Pump Company, a Pennsylvania Corporation, in fee.

And the said Hale Fire Pump Company by amendment filed June 6, 1994 adopted the name Hale Products, Inc. And the said Hale Products, Inc. by amendment dated December 31, 2013 amended its name to Hurst Jaws of Life, Inc.

FURTHER BEING part of the same premises which Hurst Jaws of Life, Inc., formerly known as Hale Products, Inc., formerly known as Hale Fire Pump Company, by Deed dated March 27, 2019 and recorded April 1, 2019 in the Recorder's Office of the County of Montgomery, Commonwealth of Pennsylvania in Deed Book 6130, Page 1971 as Instrument Number 2019019228, granted and conveyed unto 720 Spring Mill, L.P., in fee.

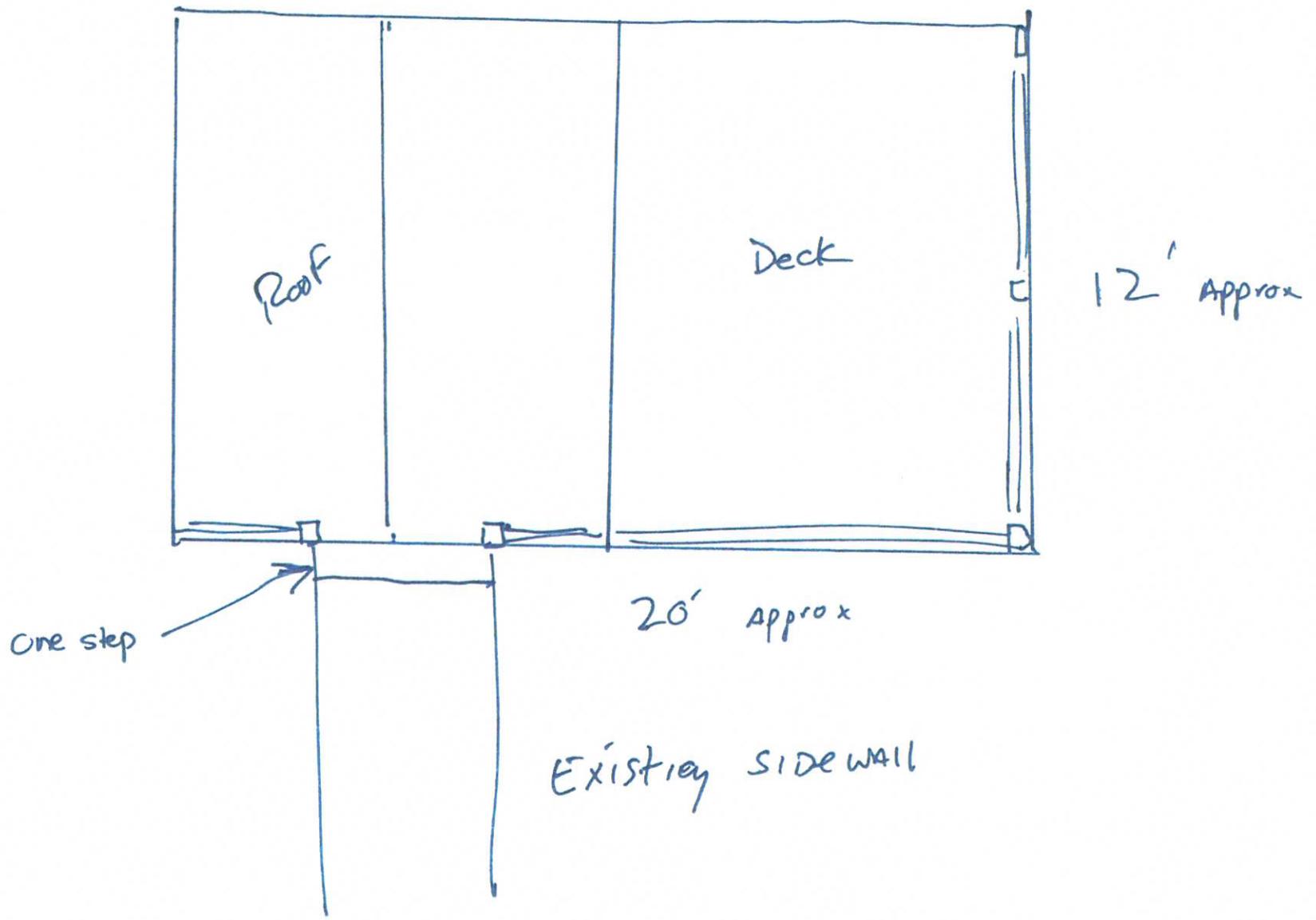
APR 18 2023

334 E 7th Ave Rick Dunn



334-E744

APR 18 2023





BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

ZONING NOTICE JULY 17, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-11

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on July 17, 2023, at 7:00 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: Daniel Russo
301 West 11th Avenue, Conshohocken, PA 19428

PREMISES INVOLVED: 301 West 11th Avenue
Conshohocken, PA 19428
BR-1 - Borough Residential District 1

OWNER OF RECORD: Daniel J. Russo and Natalie M. Russo
301 West 11th Avenue, Conshohocken, PA 19428

The petitioner is seeking a Special Exception pursuant to Sections 27-703.E.(6)(a) and a Variance from Section 27-1005.F of the Conshohocken Borough Zoning Ordinance to construct a new 204 SF two (2)-story rear building addition to the existing nonconforming single-family detached dwelling; and where the extension and expansion of the building addition does not comply with the dimensional standards of the district in which the use is located and permitted. The building addition will increase the maximum building coverage of the lot from 44% to 50%, whereas the maximum building coverage shall not exceed 35% of the lot area within the BR-1 - Borough Residential District 1.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: July 12, 2023
To: Stephanie Cecco, Brittany Rogers
From: Allison A. Lee, PE
Re: 301 West Eleventh Avenue - Zoning Determination

History of the Site:

301 West Eleventh Avenue is an existing nonconforming single-family semi-detached (twin) residential dwelling located within the BR-1 - Borough Residential District 1 zoning district.

The site is a corner property and is fronted by West Eleventh Avenue to the north and Wood Street to the east; an unnamed alley to the south and rear of the property; and residential properties also located within the BR-1 zoning district to the west. An existing off-street parking area and a one (1)-story, (2)-car accessory garage building is located to the rear of the dwelling in the front yard facing Wood Street.

Current Request:

The Applicant, Daniel Russo, is proposing to demolish the existing deck located to the rear of the dwelling to construct a new 12' w x 17' long (204 SF) two (2)-story building addition and 183 SF deck with stairs and landing to the rear of the dwelling. The Applicant is seeking a Special Exception pursuant to Section §27-703.E.(6)(a) and a Variance from Section §27-1005.F of the Conshohocken Borough Zoning Ordinance to construct the 204 SF two (2)-story rear building addition and deck to the existing nonconforming single-family dwelling; and where the extension and expansion of the building addition does not comply with the dimensional standards of the district in which the use is located and permitted. The building addition will increase the maximum building coverage of the lot from 44% to 50%, whereas the maximum building coverage shall not exceed 35% of the lot area within the BR-1 - Borough Residential District 1.

Zoning Determination:

Per the Conshohocken Borough Zoning Ordinance Section §27-808, a corner lots shall have two (2) front yard setbacks and one (1) side yard setback and a rear yard setback. The property has a front yard setback of 25 feet fronting West Eleventh Avenue and approximately 16.5 feet fronting Wood Street. Per the dimensional standards of the Conshohocken Borough Zoning Ordinance Section §27-1005.C for the

front yard setback, the required front yard setback is 25 feet. Based on the existing plot plan for the site, only an approximately 16.5 feet setback distance is shown for the property. Additionally, in accordance with Section §27-1005.I, the minimum building width shall be 20 feet. Since the existing building width of the dwelling is 17 feet and the building does not meet the required 25 feet front yard setback distance, the building is considered existing nonconforming. Therefore, the code provisions under Part 7 - Nonconforming Structures, Uses, and Lots are applicable to this property.

In accordance with the Conshohocken Borough Zoning Code Section §27-703.E.(5), a nonconforming building may be expanded only in compliance with §27-703.E.(6) of the Zoning ordinance. Pursuant to the Conshohocken Borough Zoning Code Section §27-703.E.(6)(a), extension and/or expansion as permitted in §27-703.E.(1) through (5), shall be permitted only by Special Exception in accordance with Part 6 of the Zoning Ordinance, only to the extent that all new construction shall comply with the dimensional standards of the district in which the use is located or the district in which the use is permitted, whichever is more restrictive.

The Applicant is proposing to construct a 204 SF building addition to the rear of the existing dwelling, which will further increase the existing nonconforming building coverage from 44% to 50% of the lot area. Therefore, the Applicant is required to seek a Special Exception pursuant to the Conshohocken Borough Zoning Code Section §27-703.E.(6)(a) to permit the expansion of the existing nonconforming building.

Furthermore, in accordance with the dimensional standard of the BR-1 - Borough Residential District 1 zoning district in which the property is located, per the Conshohocken Borough Zoning Code Section §27-1005.F, the maximum building coverage shall not exceed 35% of the lot area. Therefore, the Applicant is also required to seek a variance from Zoning Code Section §27-1005.F to permit a maximum building coverage of 50% on the lot, whereas the maximum building coverage of 35% is permitted within the BR-1 - Borough Residential District 1 zoning district.



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Zoning Application

Application: 2-2023-11
Date Submitted: 6/9/23
Date Received: 6/13/23

1. Application is hereby made for:

Special Exception Variance

Appeal of the decision of the zoning officer

Conditional Use approval Interpretation of the Zoning Ordinance

Other _____

2. Section of the Zoning Ordinance from which relief is requested:

27-703.E.(6)(a)

3. Address of the property, which is the subject of the application:

301 W. 11th Ave, Conshohocken, PA 19428

4. Applicant's Name: Daniel Russo

Address: 301 W. 11th Ave, Conshohocken, PA 19428

Phone Number (daytime): (901) 569-0028

E-mail Address: danieljrusso@gmail.com

5. Applicant is (check one): Legal Owner Equitable Owner ; Tenant

6. Property Owner: Daniel J. Russo and Natalie M. Russo

Address: 301 W. 11th Ave, Conshohocken, PA 19428

Phone Number: (901) 569-0028

E-mail Address: danieljrusso@gmail.com

7. Lot Dimensions: 25' X 140' Zoning District: BR-1

8. Has there been previous zoning relief requested in connection with this Property?

Yes No If yes, please describe.

Not applicable

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

The property is used as our primary residence. The existing two-story dwelling has an 859 square foot total footprint, and the detached garage has a 676 square foot total footprint.

10. Please describe the proposed use of the property.

We propose to continue to use the property as our primary residence.

11. Please describe proposal and improvements to the property in detail.

Please refer to attached plot plan, floor plan, and exterior elevations. We propose to add a 200 square foot addition to the rear of the house. The plan is to remove the existing wood deck and steps attached to the rear of the house and expand directly from the existing back wall of the kitchen. The expansion will be two stories, not including the new foundation and basement space, and a new deck will be constructed onto the back of the expansion.

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

Our family is expanding and we are outgrowing the space that we currently have in our home. Much has changed since we purchased the home in 2020. We had one child and have another on the way, and my wife is now permanently working from home. We love living in the borough and specifically in our current location on West 11th and we want to stay here. Relief in this case would allow us to remain as residents of Conshohocken while accommodating our growing family.

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property: **Please see attached amendment for a complete answer to all questions in this section.

b. How the Zoning Ordinance unreasonably restricts development of the property: **Please see attached amendment for a complete answer to all questions in this section.

c. How the proposal is consistent with the character of the surrounding neighborhood. **Please see attached amendment for a complete answer to all questions in this section.

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed. **Please see attached amendment for a complete answer to all questions in this section.

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.

a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

Not applicable

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

Not applicable

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

Special Exception

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

27-703.E.(6)(a)

c. Please describe in detail the reasons why the requested relief should be granted.

**Please refer to attached amendment as the same reasons for the Variance apply here.

16. If the applicant is being represented by an attorney, please provide the following information.

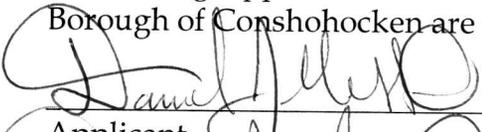
a. Attorney's Name: Not applicable

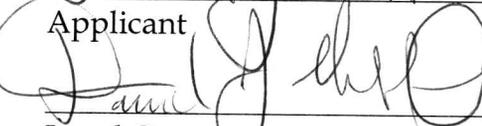
b. Address: Not applicable

c. Phone Number: Not applicable

d. E-mail Address: Not applicable

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.


Applicant


Legal Owner

6/9/23
Date

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF MONTGOMERY

As subscribed and sworn to before me this 9 day of June, 2023.


Notary Public

Commonwealth of Pennsylvania - Notary Seal
MARK SCOTT - Notary Public
Bucks County
My Commission Expires April 1, 2025
Commission Number 1393757

(Seal)



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Decision

(For Borough Use Only)

Application Granted

Application Denied

MOTION:

CONDITIONS:

BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

DATE OF ORDER: _____

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property:

Prior to 2020, our property was long neglected. Overgrown trees and brush obscured the view of the house from the street and deferred maintenance led to a house and property in a state of disrepair. Since the property was purchased from the original owner and then sold to us, innumerable improvements have been made. The house was remodeled down to the studs and rebuilt with care and attention to detail. Since we purchased the corner lot in 2020 we have worked tirelessly to make the home and property our own. We take pride in the maintenance of a beautiful exterior on a prominent corner lot. We've dug several new flowerbeds and maintained a sizable garden of native plants. We've taken down old nuisance trees and planted new ornamental crabapples. We work hard to ensure the lawn and walkways are meticulously maintained. In short, the property has undergone a dramatic transformation from being an eyesore to one that often receives compliments from neighbors and passers-by alike.

b. How the Zoning Ordinance unreasonably restricts development of the property:

Under the current zoning code, specifically section 27-703.E.(6)(a), we would not be allowed to expand the building coverage on the property. Adding additional building coverage will cause us to further exceed the permitted maximum 35% building coverage on the site. We feel it is reasonable to request relief from this restriction as it will allow us to stay on the property while our family grows and the space we need expands.

c. How the proposal is consistent with the character of the surrounding neighborhood:

One of our priorities in working with a licensed and reputable architect was just this - we wanted to expand without transforming the property into something that appeared out of place in the neighborhood. It's also one of the things that attracted us to this property initially. Many of the new construction homes within the upper avenues surrounding us are larger, wider, and constructed with finishes that do not fit in with the neighboring houses. This is the opposite of what we want. The front facing elevation and the view from the corner of W. 11th Ave and Wood St - the most prominent views of our home - will remain largely unchanged.

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed:

The proposed plan for the second floor would accommodate our family's growing needs by allowing for each child to have their own bedroom and for more than one person to shower at a time. It will provide a dedicated space for the office (which currently occupies one of the bedrooms), which has become necessary to us as my wife's work position is now permanently from home.

The proposed first floor plan and deck will allow us the space to accommodate our extended families as guests in our home. This has been a dream of ours since moving in that has unfortunately not been a possibility because of the current layout and space. The first floor space will also serve as a dedicated recreational space for our children to play and learn.

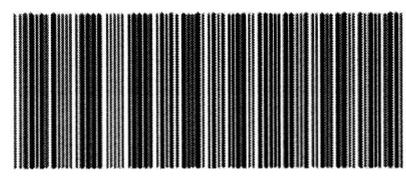
We believe that the dimensions proposed in the plan are the minimum dimensions necessary to accommodate the uses described above. We are not asking for anything more than what other surrounding neighbors have done to their homes.



RECORDER OF DEEDS
MONTGOMERY COUNTY
Jeanne Sorg

One Montgomery Plaza
Swede and Alry Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 6173 PG 00147 to 00151
INSTRUMENT # : 2020014592
RECORDED DATE: 02/24/2020 03:17:18 PM



5737858-0020

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

Document Type: Deed	Transaction #: 5997690 - 2 Doc(s)
Document Date: 02/12/2020	Document Page Count: 4
Reference Info:	Operator Id: dawhitner

RETURN TO: (Simplifile) Brendan Abstract Company 150 E Swedesford Rd Ste 104 Wayne, PA 19087-1458 (610) 688-9249	PAID BY: BRENDAN ABSTRACT COMPANY
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*** PROPERTY DATA:**

Parcel ID #:	05-00-01588-00-9
Address:	301 W ELEVENTH AVE
	CONSHOHOCKEN PA
	19428
Municipality:	Conshohocken Borough
	(100%)
School District:	Colonial

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT: \$400,000.00	DEED BK 6173 PG 00147 to 00151 Recorded Date: 02/24/2020 03:17:18 PM
FEES / TAXES:	I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.
Recording Fee:Deed \$86.75	
State RTT \$4,000.00	
Conshohocken Borough RTT \$2,000.00	
Colonial School District RTT \$2,000.00	
Total: \$8,086.75	
	Jeanne Sorg Recorder of Deeds

Rev1 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION

Prepared by:
Brendan Abstract Company, Inc.
150 E. Swedesford Road, Suite 104
Wayne, PA 19087
(610)688-9249

Return to:
Brendan Abstract Company, Inc.
150 E. Swedesford Road, Suite 104
Wayne, PA 19087
(610)688-9249
File No.: 20010009

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
05-00-01588-00-9 CONSHOHOCKEN BOROUGH
301 W ELEVENTH AVE
JRZ PEN PROPERTIES LLC \$15.00
B 048 L U 051 1101 02/19/2020 JW

Parcel No.: 05-00-01588-00-9

Consideration: \$400,000.00
Municipal Tax: \$4,000.00
State Tax: \$4,000.00

This Indenture Made this 12th day of February, 2020.

Between

JRZ Pen Properties, LLC

(hereinafter called the Grantor)

and

Daniel J. Russo and Natalie M. Russo, husband and wife

(hereinafter called the Grantee),

Witnesseth That the said Grantor for and in consideration of the sum of Four Hundred Thousand And No/100 Dollars----- (\$400,000.00)----- lawful money of the United States of America, unto Grantor well and truly paid by the said Grantee and at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee and Grantee's heirs, successors and assigns, as tenants by the entirety,

301 W. 11th Avenue
Borough of Conshohocken
County of Montgomery
Pennsylvania
Parcel No.: 05-00-01588-00-9

See Exhibit A attached hereto and made a part hereof.

Together with all and singular improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said Grantor and Grantor's heirs, successors and assigns, as well at law as in equity, of, in, and to the same.

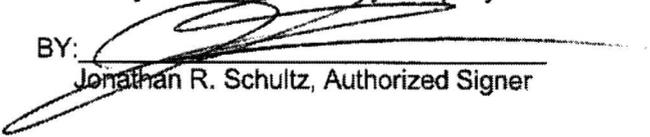
To have and to hold the said lot(s) or piece(s) of ground above described with the hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantee and Grantee's heirs, successors and assigns to and for the only proper use and behoof of the said Grantee and Grantee's heirs, successors and assigns, forever, as tenants by the entirety.

And the said Grantor and Grantor's heirs, successors and assigns does by these presents, covenant, grant and agree, to and with the said Grantee and Grantee's heirs, successors and assigns, that the said Grantor and Grantor's heirs, successors and assigns all and singular the Hereditaments and premises herein above described and granted, or mentioned and intended so to be with the Appurtenances unto the said Grantee and Grantee's heirs, successors and assigns, against the said Grantor and Grantor's heirs, successors and assigns all and every Person or Persons whomsoever lawfully claiming or to claim the same or any part thereof, by from, or under Grantor and Grantor's heirs, successors and assigns shall and will WARRANT and forever DEFEND.

In Witness Whereof, the said Grantor has caused these presents to be duly executed dated the day and year first above written.

Sealed and Delivered
IN THE PRESENCE OF US

JRZ Pen Properties, LLC
a Pennsylvania limited liability company

BY: 
Jonathan R. Schultz, Authorized Signer

STATE OF PENNSYLVANIA

COUNTY OF CHESTER

I, Kathleen A. DiPaolo, a Notary Public for the County of Chester and State of Pennsylvania, do hereby certify that JRZ Pen Properties, LLC personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

** Jonathan R. Schultz, Authorized Signer for*

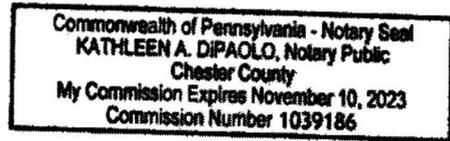
Witness my hand and official seal, this the 12th of February, 2020.

Kathleen A. DiPaolo

Notary Public

My Commission Expires: November 10, 2023

(SEAL)



DEED

Grantor: JRZ Pen Properties, LLC

TO

Grantee: Daniel J. Russo and Natalie M. Russo, husband and wife

PREMISES: 301 W. 11th Avenue, Conshohocken, PA 19428

The address of the above named Grantee is:
301 W. 11th Avenue
Conshohocken, PA 19428

Certified by: *Natalie M Russo*

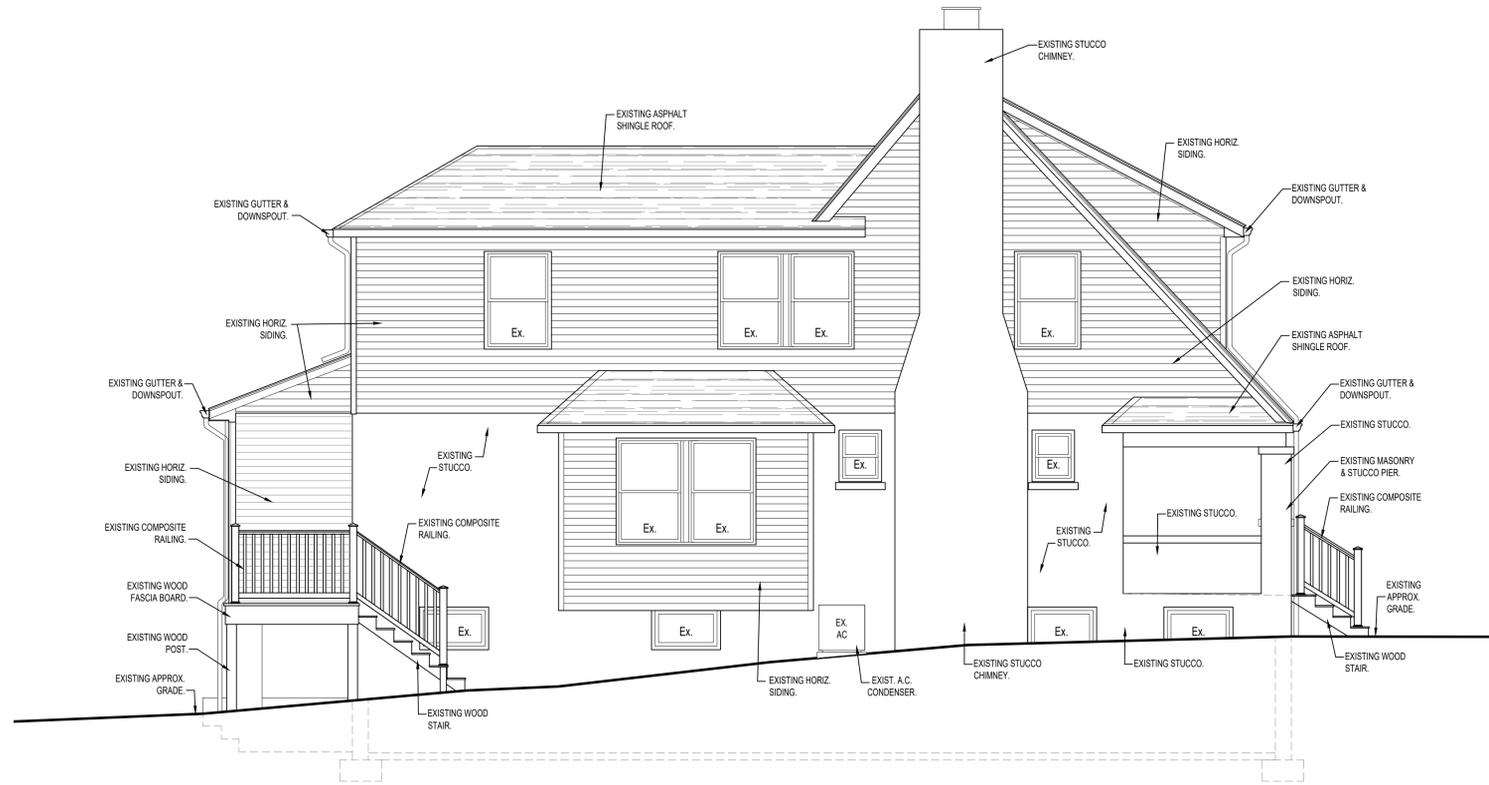
EXHIBIT "A"

ALL THAT CERTAIN lot or piece of land with the buildings and improvements thereon erected, Situate in the Borough of Conshohocken, County of Montgomery and State of Pennsylvania, bounded and described as follows:

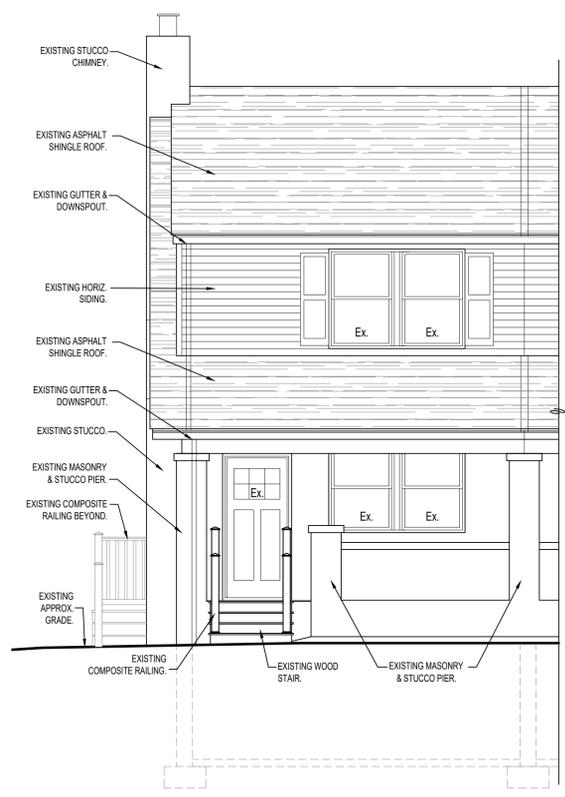
BEGINNING at a point on the West corner of 11th Avenue and Wood Street; thence extending Northwesterly along the Southwest side of said 11th Avenue, 25 feet to a point; thence extending South 46 degrees 34 minutes West the Northwest line passing through the middle of a partition wall separating the house on this with the house on the adjoining lot, 140 feet to the Northeast side of a certain 20 feet wide alley, running from Wood Street to Freedley Street; thence along the said side of said alley, Southeast 25 feet to a point, being the Northwest side of Wood Street; thence extending along said side of said Wood Street, North 46 degrees 34 minutes East, 140 feet to the first mentioned point and place of BEGINNING.

PARCEL NO. 05-00-01588-00-9

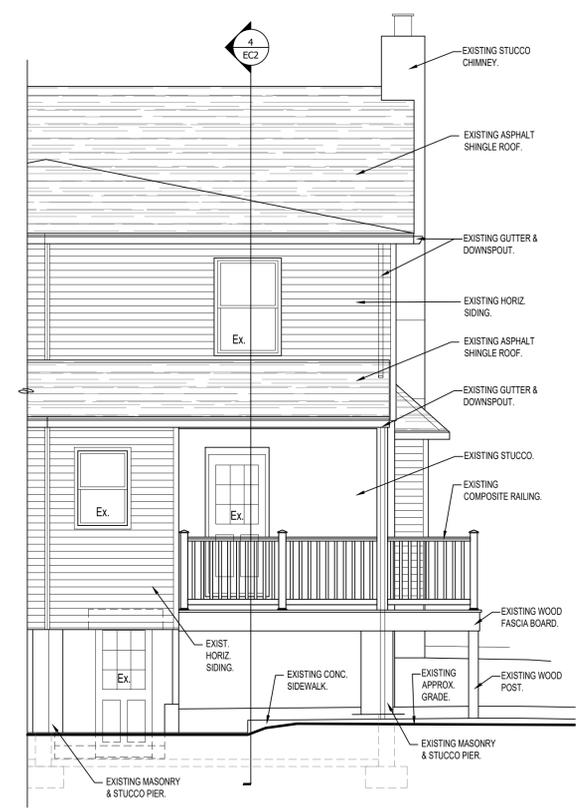
BEING the same premises which Sharon A. Richardson, Executrix of the Estate of Robert L. Richardson, by Deed dated 07/02/2019 and recorded 07/10/2019 in the Office of the Recorder of Deeds in and for the County of Montgomery in Deed Book 6143, Page 2332, granted and conveyed unto JRZ Pen Properties, LLC, a Pennsylvania Limited Liability Company.



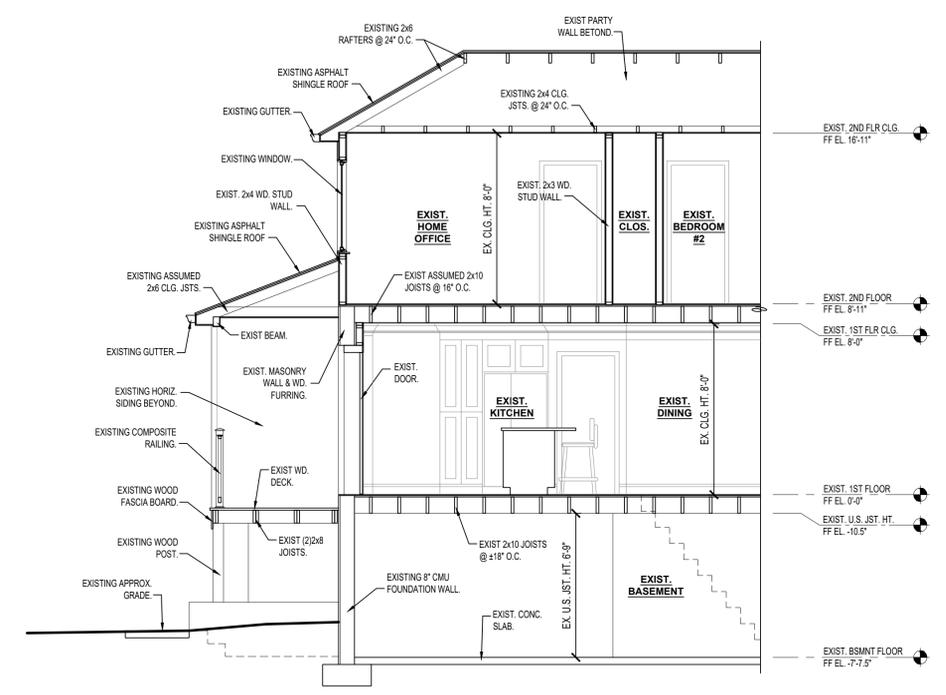
1 **EXIST. LEFT SIDE ELEVATION**
SCALE : 1/4" = 1'-0"



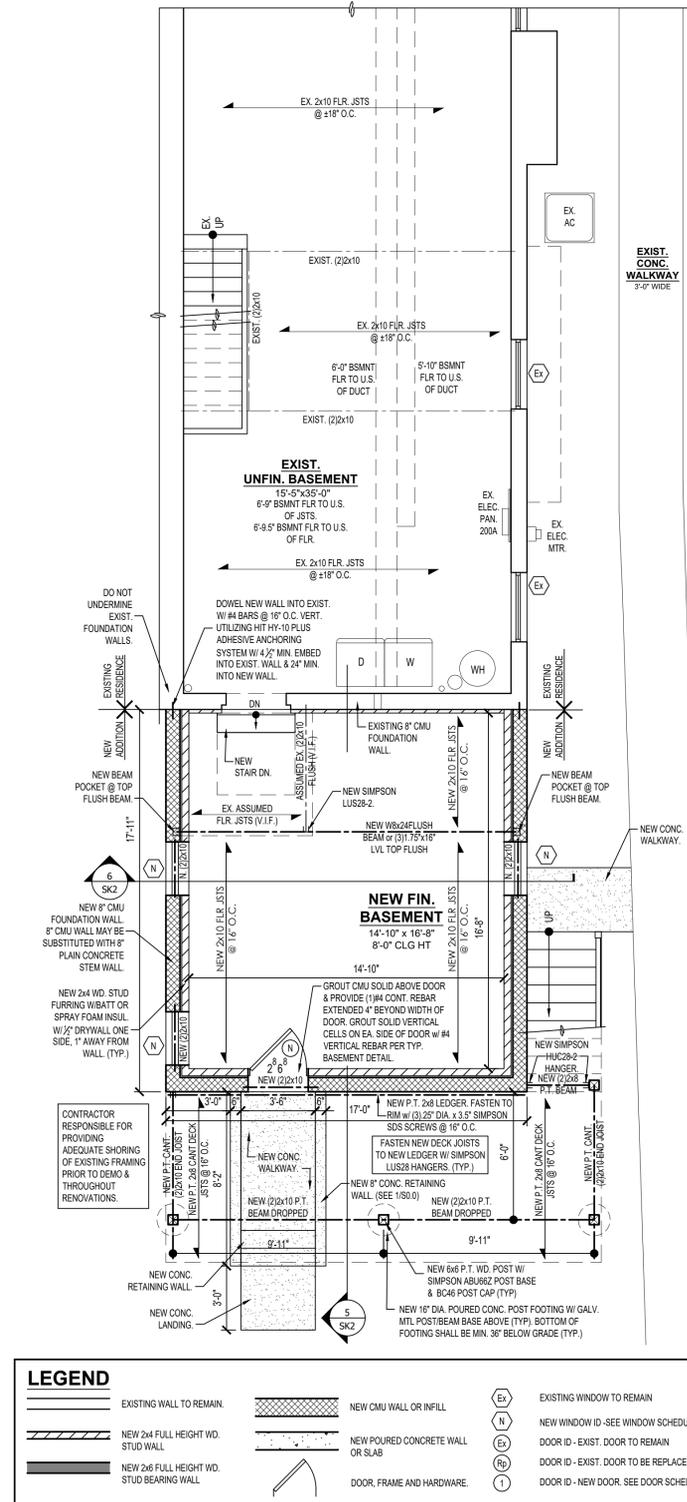
2 **EXIST. FRONT ELEVATION**
SCALE : 1/4" = 1'-0"



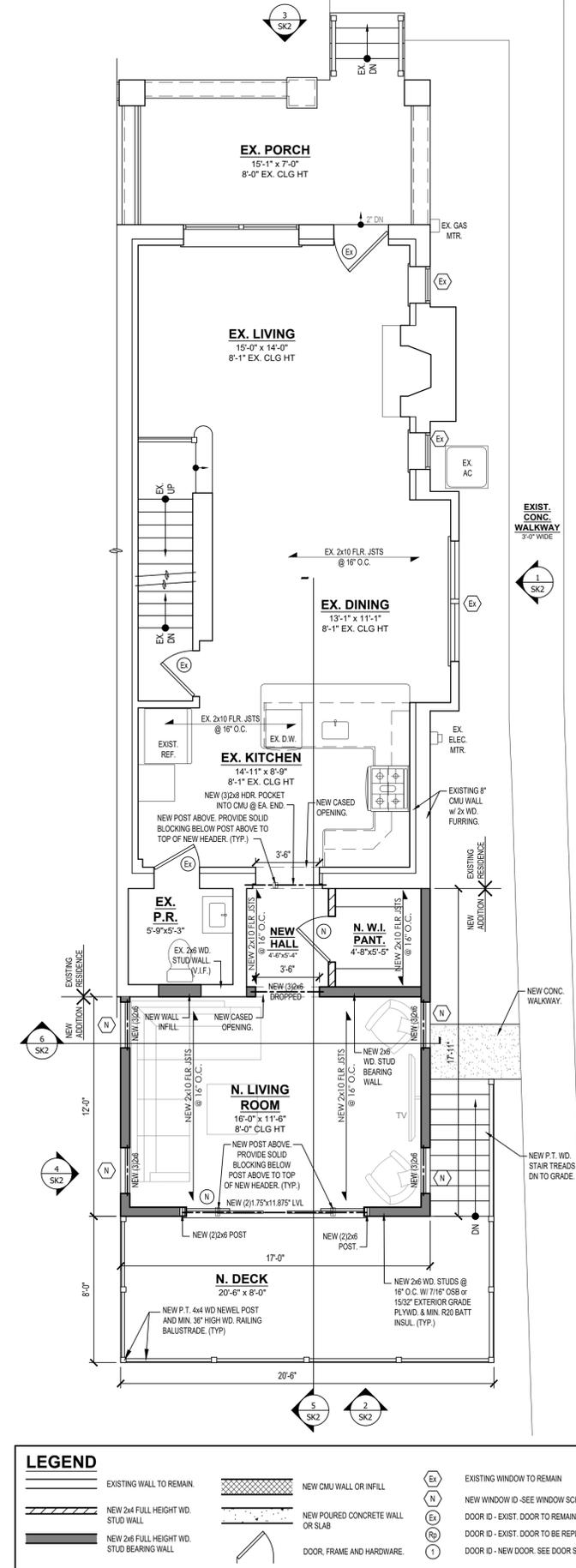
3 **EXIST. REAR ELEVATION**
SCALE : 1/4" = 1'-0"



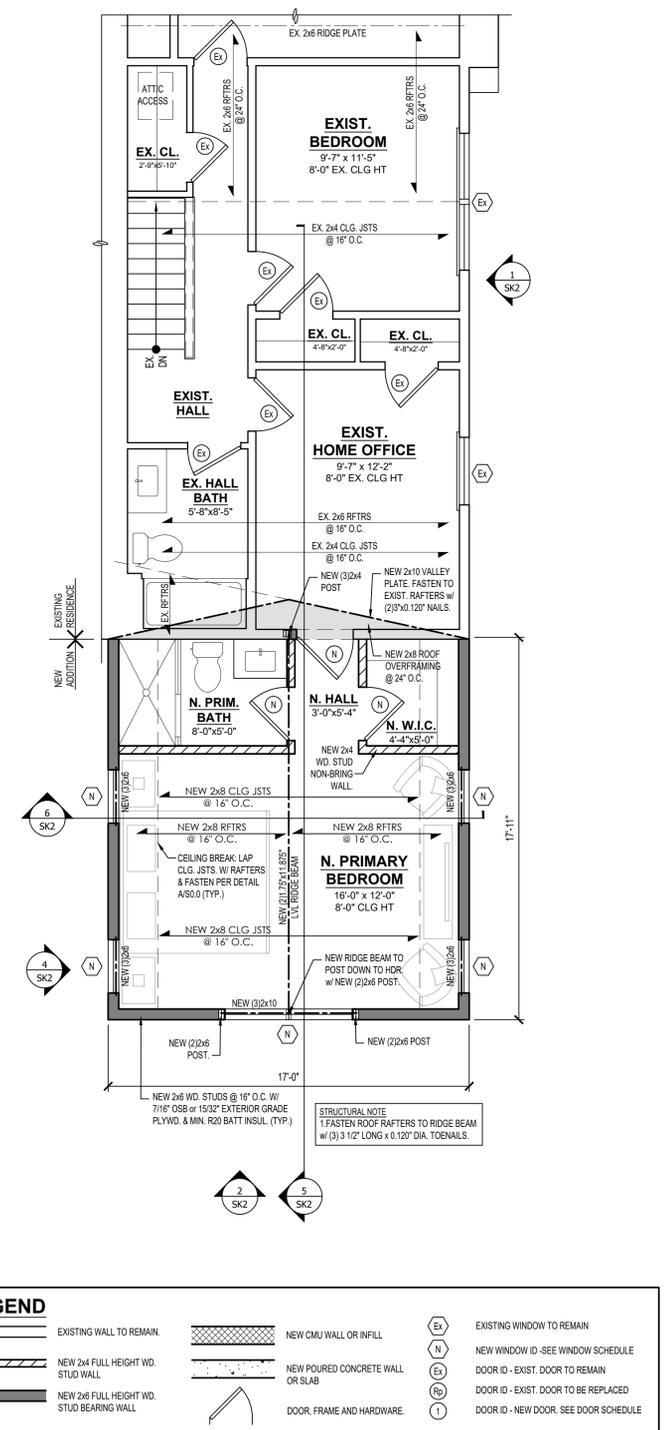
4 **EXIST. BUILDING SECTION**
SCALE : 1/4" = 1'-0"



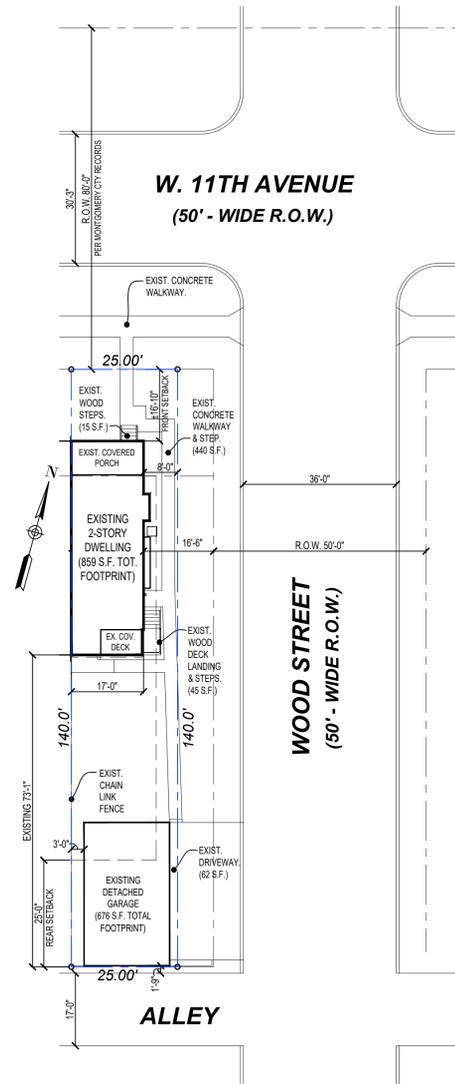
1 PROP. BASEMENT PLAN
249 INT. FIN. S.F. SCALE: 1/4" = 1'-0"



2 PROP. FIRST FLOOR PLAN
242 INT. FIN. S.F. SCALE: 1/4" = 1'-0"



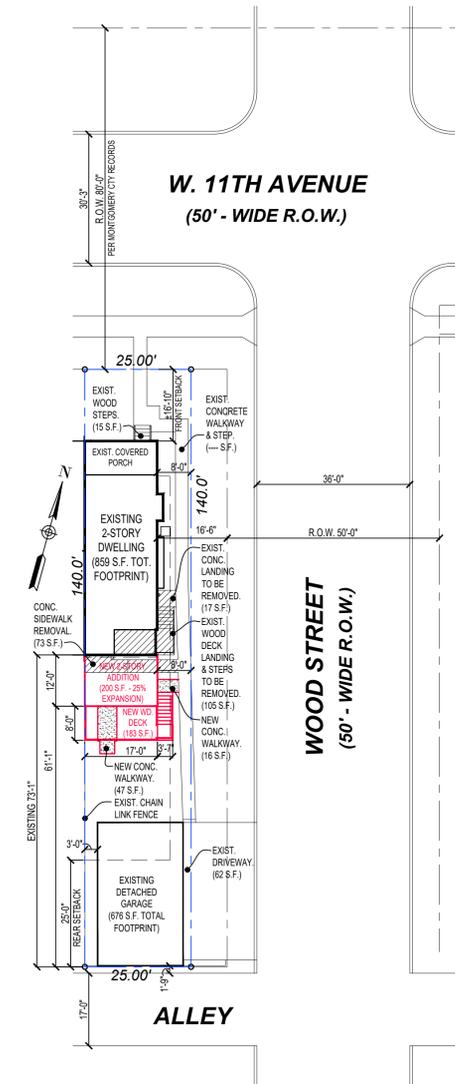
3 PROP. SECOND FLOOR PLAN
280 INT. FIN. S.F. SCALE: 1/4" = 1'-0"



EXISTING SITE FEATURES:		CONSHOHOCKEN BOROUGH §182-206 PERMITTED USE DIMENSIONAL STANDARDS.		
		BR-1 - BOROUGH RESIDENTIAL DISTRICT 1		
		AREA REGULATIONS		
		Required	Existing	
BUILDING	859 S.F.			
GARAGE	676 S.F.			
SIDEWALKS	440 S.F.			
DRIVEWAY	62 S.F.			
TOTAL IMPERVIOUS	1,906 S.F. (58%)			
TOTAL BLDG. COV.	1,535 S.F. (44%)			
		Min. Front Yard Setback	25'	±17'
		Min. Side Yard Setback	5'	±5'
		Min. Rear Yard Setback	25'	±73'
		Max. Building Coverage	35%	44%
		Max. Impervious Coverage	60%	58%

Disclaimer Notes:
 1. Existing Boundary information is based on Recorded Property Deed.
 2. Only above ground visible building conditions have been located by Cunningham Architecture, Inc. Underground utilities and invert elevations have not been surveyed nor located. Cunningham Architecture, Inc. is not a licensed land surveying nor engineering company. The Plot Plan created is not intended for legal purposes or to be used to determine legal property lines. The plot plan was prepared exclusively for demonstrating as-built building conditions and proposed scope of work. Contractor shall field verify existing building and site conditions before commencing construction. The location of the underground utilities must be field verified by contractor before commencement of any construction.
 3. Plot Plan is for diagrammatic purposes only.

1 EXIST. PLOT PLAN
 SCALE : 1" = 20'-0"



EXISTING SITE FEATURES:		PROPOSED IMPROVEMENTS:		CONSHOHOCKEN BOROUGH §182-206 PERMITTED USE DIMENSIONAL STANDARDS.		
		BUILDING ADDITION ±25% EXP.		BR-1 - BOROUGH RESIDENTIAL DISTRICT 1		
		AREA REGULATIONS		Required	Existing	Proposed
BUILDING	859 S.F.	200 S.F.	200 S.F.			
GARAGE	676 S.F.	183 S.F.	183 S.F.			
SIDEWALKS	440 S.F.	63 S.F.	63 S.F.			
DRIVEWAY	62 S.F.					
TOTAL IMPERVIOUS	1,906 S.F. (58%)	263 S.F.	263 S.F.	Min. Front Yard Setback	25'	±25'
TOTAL BLDG. COV.	1,535 S.F. (44%)	-90 S.F.	-90 S.F.	Min. Side Yard Setback	5'	±5'
		GARAGE SUBTRACTION	-325 S.F.	Min. Rear Yard Setback	25'	±50'
		TOTAL NEW IMPERV.	-152 S.F. (-4%)	Max. Building Coverage	35%	44%
				Max. Impervious Coverage	60%	52%

Disclaimer Notes:
 1. Existing Boundary information is based on Recorded Property Deed.
 2. Only above ground visible building conditions have been located by Cunningham Architecture, Inc. Underground utilities and invert elevations have not been surveyed nor located. Cunningham Architecture, Inc. is not a licensed land surveying nor engineering company. The Plot Plan created is not intended for legal purposes or to be used to determine legal property lines. The plot plan was prepared exclusively for demonstrating as-built building conditions and proposed scope of work. Contractor shall field verify existing building and site conditions before commencing construction. The location of the underground utilities must be field verified by contractor before commencement of any construction.
 3. Plot Plan is for diagrammatic purposes only.

2 PROP. PLOT PLAN
 SCALE : 1" = 20'-0"

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

WALL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS HOME HAS BEEN REVIEWED FOR CONFORMANCE WITH THE 2018 ICC (w/ APPLICABLE PA AMENDMENTS) SEC. R602.10 WALL BRACING PROVISIONS FOR: 90 & 100 MPH (2006 WALL BRACING PER AMENDMENTS) WIND SPEEDS AND SEISMIC DESIGN CATEGORY "A&B".

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING w/ 2 3/8" x 0.113" NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN PANEL FIELD. TYP. UNO.
- BRACING PER IRC SECTION R602.10.5 CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING
- ALT. STAPLE CONNECTION SPEC: 1 3/8" 16 GA STAPLES (3/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING

300 Brookside Ave, Building 4 ▶ Ambler, PA 19002
p 215-648-8001 ▶ mulhernkulp.com

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 UNIFORM CONSTRUCTION CODE, WITH APPLICABLE PENNSYLVANIA AMENDMENTS (UP TO 2018).
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS:

ROOF	GROUND SNOW = 30 PSF DEAD = 10 PSF LOAD DURATION FACTOR = 1.15
FLOOR	LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (SOLID SAWN) ADDL. 10 PSF @ CERAMIC TILE IN KITCHEN
WIND	115 MPH WIND (2018 IRC WIND MAPS), EXP. B. 90 MPH WIND (FOR 2006 WALL BRACING PER AMENDMENTS)
SEISMIC	A/B.
SOIL	2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. 9PF "STUD" GRADE LUMBER, OR BETTER, UNO.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE HEM-FIR #2 (NF) LUMBER, OR BETTER. SUPPORT ALL HEADERS/BEAMS w/ (1) 2x JACK STUD & (1) 2x KING STUD, MINIMUM. - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, UNO..
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- FOR 2 & 3 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLYS TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/4"x3/8" SIMPSON SDS SCREWS (OR 3/8" TRUSLOK SCREWS) @ 16" O.C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3/2" OR 5/4" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.s (HILTI XJ PINS OR EQUAL) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- PACK OUT WEBS OF STEEL BEAMS w/ SOLID 2x MATERIAL & FASTEN w/ (2) 1/2" DIA. THRU BOLTS @ 16" O.C.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.
- ENGINEERED LUMBER TO MEET OR EXCEED THE FOLLOWING:
 - LVL = Fb=2600 psi; Fv=285 psi; E=2.0x10⁶ psi
- FASTEN ALL METAL CONNECTORS (I.E. HANGERS, CLIPS, ETC) PER MANUFACTURER'S SPECIFICATIONS FOR MAXIMUM TABLE LOAD VALUE UNO.
- CORROSION NOTES:
 - BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE, FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT w/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
 - ALL FASTENERS AND CONNECTORS EXPOSED TO SALT WATER (WITHIN 300' OF SALT WATER SHORELINE, INCLUDING VENTED SPACES) SHALL BE STAINLESS STEEL.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS - w/ 2 3/8" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD. - w/ 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD. - w/ 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (1) SIMPSON H2.5T CLIP. PROVIDE (2) H2.5T CLIPS AT FLUSH BEAMS IN THE ROOF.

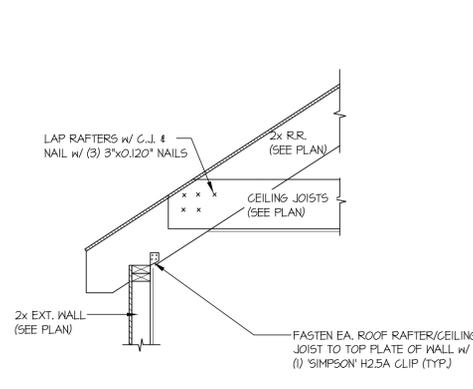
GENERAL STRUCTURAL NOTES

FOUNDATION

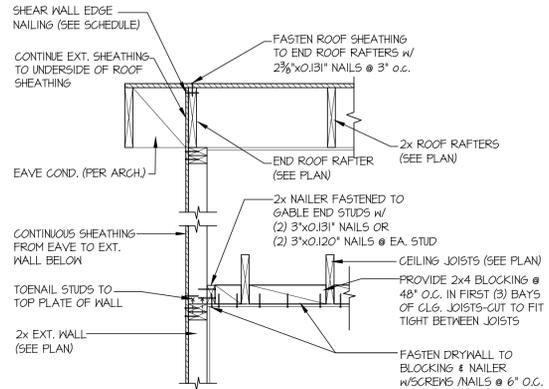
- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE.
- FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO CMU FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
 - 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 7" MIN. EMBEDMENT
 - 1/2" DIA. x 6" LONG SIMPSON TITEN HD @ 6'-0" O.C.
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT w/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, UNO.
- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, UNO.:
 - F_c = 4,000 psi; FOUNDATION WALLS
 - F_t = 3,000 psi; FOOTINGS & INTERIOR SLABS ON GRADE
 - f_y = 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
 - 8' HEIGHT (AS NOTED ON PLANS)
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 1% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP). CONSULT SOILS REPORT OR BUILDING DEPT. FOR MIN. DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
 - PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
 - JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
 - JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
 - CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS
 - TYPICAL REINFORCEMENT DETAILS: PROVIDE 3" MIN. CLEAR COVER WHERE CAST AGAINST EARTH, 1 1/2" MIN. CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24" FOR #4 BARS) & BEND BARS AND LAP AT CORNERS. PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.
 - CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1,900 psi (F_m=1,500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530.1.
 - CMU FOUNDATION WALLS SHALL HAVE "DUR-O-WALL" HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 9 GA. MINIMUM @ 16" O.C.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

FLOOR FRAMING

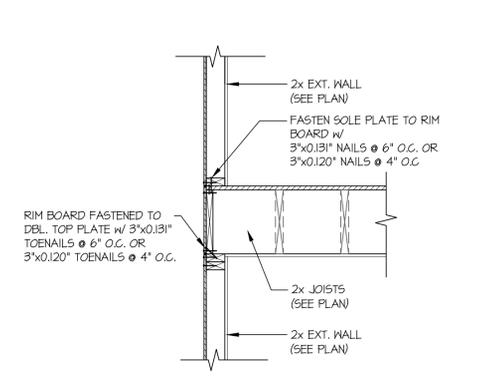
- 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/360 LIVE LOAD DEFLECTION CRITERIA.
- TYPICAL JOIST HANGERS (UNO. ON PLANS):
 - SINGLE PLY: SIMPSON LUS210
 - DOUBLES: SIMPSON LUS210-2
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS w/ GLUE AND:
 - 2 1/4" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.
 - 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.
 - 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.



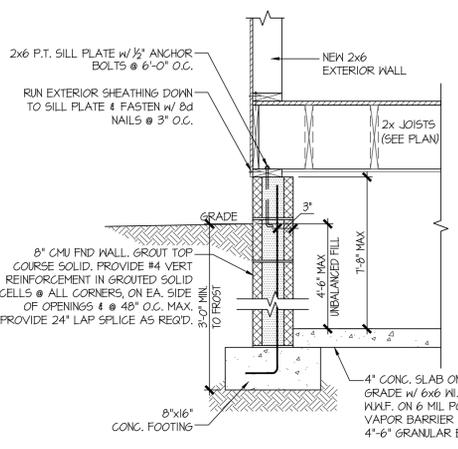
A TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/4"=1'-0"



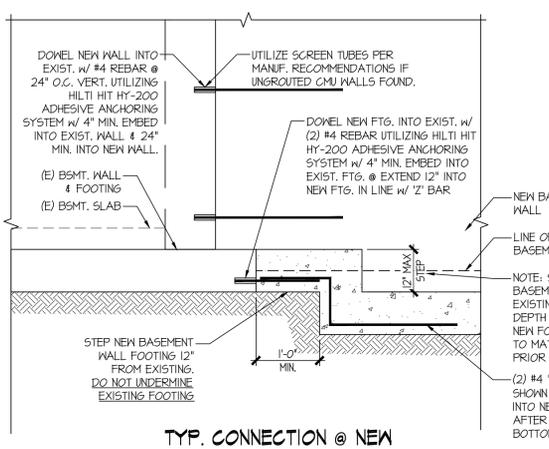
B TYPICAL GABLE END BRACING DETAIL
SCALE: 3/4"=1'-0"



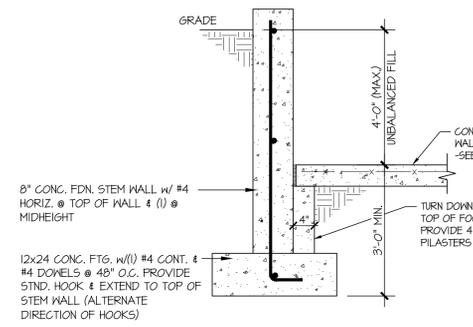
C TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/4"=1'-0"



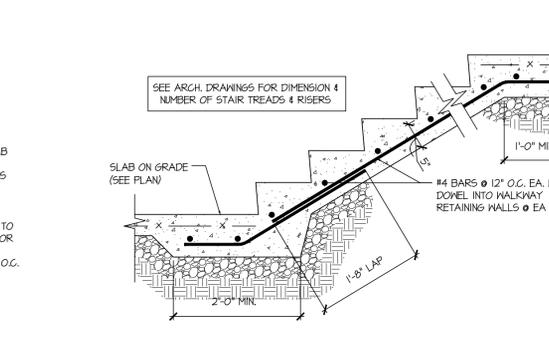
D TYPICAL BASEMENT WALL
SCALE: 3/4"=1'-0"



E TYP. CONNECTION @ NEW TO EXISTING BASEMENT
SCALE: 3/4"=1'-0"



1 RETAINING WALL @ WALKWAY
SCALE: 3/4"=1'-0"



2 TYPICAL CONCRETE STAIRS
SCALE: 3/4"=1'-0"



BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

ZONING NOTICE JULY 17, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-12

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on July 17, 2023, at 7:00 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: Joseph and Brianna Robinson
150 West 8th Avenue, Conshohocken, PA 19428

PREMISES INVOLVED: 150 West 8th Avenue
Conshohocken, PA 19428
BR-1 - Borough Residential District 1

OWNER OF RECORD: Joseph and Brianna Robinson
150 West 8th Avenue, Conshohocken, PA 19428

The petitioner is seeking a variance from Section 27-1007.1 of the Conshohocken Borough Zoning Ordinance to permit a driveway apron and off-street parking area to be located in the front yard of the corner property facing Maple Street whereas off-street parking spaces located between the front wall of the principal structure and the curb of the street toward which that wall is oriented in the BR-1 - Borough Residential District 1 is not permitted.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: July 12, 2023
To: Stephanie Cecco, Brittany Rogers
From: Allison A. Lee, PE
Re: 150 West Eighth Avenue - Zoning Determination

History of the Site:

108 West Eighth Avenue is an existing 1,421 SF single-family semi-detached (twin) dwelling located within the BR-1 - Borough Residential District 1 zoning district. The site is a corner property and is fronted by West Eighth Avenue to the south and Maple Street to the west; Thomas Alley (20' wide right-of-way) to the north and rear of the property; and residential properties also located within the BR-1 zoning district to the east.

Current Request:

The Applicants, Joseph and Brianna Robinson, is proposing to construct a driveway apron located off of the Maple Street side of the corner property. A 20' wide x 26' long (520 SF) off-street stone aggregate parking area is proposed from the driveway apron to extend into the rear yard of the property. A portion of the off-street parking area will be located between the front wall of the existing dwelling and the curb of Maple Street. The Applicant is seeking a variance from the Conshohocken Borough Zoning Code Section §27-1007.1 to allow for an off-street parking area to be located between the front wall of the existing dwelling and the curb off of Maple Street.

Zoning Determination:

Per the Conshohocken Borough Zoning Ordinance Section §27-808, a corner lots shall have two (2) front yard setbacks and one (1) side yard setback and a rear yard setback. The existing dwelling has a front wall facing West Eight Avenue and Maple Street.

Per the Conshohocken Borough Zoning Code Section §27-1007.1, there shall be no parking lots or required off-street parking spaces permitted between the front wall of a principal structure and the curb of the street toward which that wall is oriented in the BR-1 zoning district. Since the Applicant is proposing to construct a new 520 SF off-street parking area located to the rear of the property, of which an approximately 120 SF portion the off-street parking area will be located between the front wall of the existing principal dwelling and the curb of Maple Street, the Applicant would be required to obtain a variance from the Conshohocken Borough Zoning Code Section §27-1007.1 to permit the approximately 120 SF portion of the 520 SF off-street parking area to be located in the front yard of the property, whereas the parking area is prohibited by the zoning code in the BR-1 zoning district.



BOROUGH OF CONSHOHOCKEN

400 Fayette Street, Suite 200, Conshohocken, PA 19428

Phone (610) 828-1092 Fax (610) 828-0920

Zoning Application

Application: 2-2023-12
Date Submitted: 6/14/23
Date Received: 6/14/23

1. Application is hereby made for:

Special Exception Variance

Appeal of the decision of the zoning officer

Conditional Use approval Interpretation of the Zoning Ordinance

Other _____

2. Section of the Zoning Ordinance from which relief is requested:

27-1007 [Ord. 6-2001, 10/10/2001; as amended through 12/2005]

3. Address of the property, which is the subject of the application:

150 W 8th Ave

4. Applicant's Name: Joseph & Brianna Robinson

Address: 150 W 8th Ave

Phone Number (daytime): (610) 316-7962

E-mail Address: josephrobinson2191@gmail.com

5. Applicant is (check one): Legal Owner Equitable Owner ; Tenant

6. Property Owner: Joseph & Brianna Robinson

Address: 150 W 8th Ave

Phone Number: (610) 316-7962

E-mail Address: josephrobinson2191@gmail.com

7. Lot Dimensions: 26' x 143'

Zoning District: BR-1

8. Has there been previous zoning relief requested in connection with this Property?

Yes No If yes, please describe.

Not that the current owners are aware of.

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

The property consists of a 1421 square foot single family residence that is occupied by the applicants, their infant daughter, and dog. There is a 7' x 6' shed on the property. Existing improvements to the backyard include: removal of a 40 foot tree (that was a weed no one ever pulled) infested with lantern flies, removal of chainlink fence dividing the yard, and removal of several damaged trees and brush harboring pests.

10. Please describe the proposed use of the property.

The proposed use does not change, it just provides a safer, off-street parking area for the family and improves the condition of the current yard.

11. Please describe proposal and improvements to the property in detail.

1. Gain approval for a curb cut and driveway apron off Maple Street that will act as an entryway to a designated off-street parking area at the back of our yard.
2. Clear the remainder of the yard including removal of the existing shed structure to create an off-street parking area for 2 cars and improve drainage and landscaping.
3. Replace existing fence with minor changes to account for the designated parking area

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

- An entryway/curb cut from Maple Street would take away 1 parking spot but remove 2 cars that typically park on the street (nets out to +1 on-street parking spot)
- There is precedent, with several driveway and garage entrances off Maple for similar corner lots. (See addendum, Exhibit A)
- Reckless driving, commercial activity and crime on this section of Maple Street have made street parking more challenging and less secure.
- Driveway access from Maple provides an easier turning radius vs. a hairpin turn needed to access from the alley. Improved sightlines make this option safer than an alley entrance and decrease the probability of a collision.
- Several commercial vehicles utilize 9th Ave garages off the alley way and frequently block the alley entrance way, making an alley entrance point more challenging. (See addendum, Exhibit B)
- The alley behind the house is downward sloping and we would be inviting water into our backyard, destroying what we are setting out to achieve with this project. (See addendum, Exhibit C)

13. If a Variance is being requested, please describe the following:

- a. The unique characteristics of the property: The property is a corner lot having 2 frontages.
The Maple St frontage is the ideal location for driveway access given the alley is sloped, narrow and congested
- b. How the Zoning Ordinance unreasonably restricts development of the property:
Our property is a corner lot the zoning code considers both Maple and W Eighth a double front-yard which is why we are seeking a variance. We are not physically putting off-street parking "between the front wall of the structure and the curb" as it says in the code. The proposed location of the driveway is in the rear of the backyard. We are seeking approval for a curb cut off Maple Street as that is the safest and easiest access point to an off-street parking area.
- c. How the proposal is consistent with the character of the surrounding neighborhood. Several similar corner lots have driveway and garage access from Maple Street, making it consistent with: 151 W 8th Ave, 162 W 7th Ave, 152 W 4th Ave, 200 W 4th Ave, and 150 W 9th Ave which all have curb cuts off Maple Street as an access point to off-street parking. (See addendum, Exhibit A)
- d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed.
The requested relief provides driveway acces that is safe, easily accessible, and improves the functionality of the property.

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.

- a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

N/A

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

N/A

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

N/A

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

N/A

c. Please describe in detail the reasons why the requested relief should be granted.

N/A

16. If the applicant is being represented by an attorney, please provide the following information.

a. Attorney's Name: N/A

b. Address: N/A

c. Phone Number: N/A

d. E-mail Address: N/A

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.

[Signature] [Signature]
Applicant

[Signature] [Signature]
Legal Owner

June 13, 2023
Date

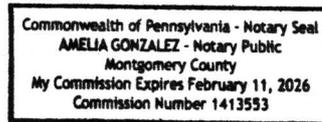
COMMONWEALTH OF PENNSYLVANIA

COUNTY OF MONTGOMERY

As subscribed and sworn to before me this 13 day of June, 2023.

[Signature]
Notary Public

(Seal)



Содержание: 1413223
№ Состояния: 1413223 / 1413223
Модель: 1413223
СЕТЬ СЛУЖБ - МОДЕЛЬ
Содержание: 1413223 / 1413223



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Decision

(For Borough Use Only)

Application Granted

Application Denied

MOTION:

CONDITIONS:

BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

DATE OF ORDER: _____

STANDARD AGREEMENT FOR THE SALE OF REAL ESTATE

ASR

This form recommended and approved for, but not restricted to use by, the members of the Pennsylvania Association of Realtors® (PAR).

PARTIES	
BUYER(S): <u>Joseph Michael Robinson, Brianna Marie Callaghan</u> _____ BUYER'S MAILING ADDRESS: _____ _____ _____	SELLER(S): <u>Dragonfly Renovations Llc</u> _____ SELLER'S MAILING ADDRESS: _____ _____ _____

PROPERTY
ADDRESS (including postal city) <u>150 W 8TH AVE</u> _____ _____ CONSHOHOCKEN _____ ZIP <u>19428</u> in the municipality of _____ Conshohocken Borough _____, County of MONTGOMERY _____, in the School District of _____ COLONIAL _____, in the Commonwealth of Pennsylvania. Tax ID #(s): <u>05-00-00660-001</u> _____ and/or Identification (e.g., Parcel #; Lot, Block; Deed Book, Page, Recording Date): _____ _____

BUYER'S RELATIONSHIP WITH PA LICENSED BROKER	
<input type="checkbox"/> No Business Relationship (Buyer is not represented by a broker)	
Broker (Company) <u>Compass Pennsylvania, LLC</u> _____ Company License # <u>RB068881</u> Company Address <u>4 E Montgomery Ave, Ardmore, PA 19003</u> _____ Company Phone <u>(610)822-3356</u> Company Fax _____ Broker is (check only one): <input checked="" type="checkbox"/> Buyer Agent (Broker represents Buyer only) <input type="checkbox"/> Dual Agent (See Dual and/or Designated Agent box below)	Licensee(s) (Name) <u>Kathleen Laflin</u> _____ State License # <u>RS342692</u> Direct Phone(s) _____ Cell Phone(s) <u>(610)442-5225</u> Email <u>kathleen.laflin@compass.com</u> Licensee(s) is (check only one): <input type="checkbox"/> Buyer Agent (all company licensees represent Buyer) <input checked="" type="checkbox"/> Buyer Agent with Designated Agency (only Licensee(s) named above represent Buyer) <input type="checkbox"/> Dual Agent (See Dual and/or Designated Agent box below)
<input type="checkbox"/> Transaction Licensee (Broker and Licensee(s) provide real estate services but do not represent Buyer)	

SELLER'S RELATIONSHIP WITH PA LICENSED BROKER	
<input type="checkbox"/> No Business Relationship (Seller is not represented by a broker)	
Broker (Company) <u>Keller Williams Real Estate-Montgomeryville</u> _____ Company License # <u>RB065312</u> Company Address <u>601B Bethlehem PIKE STE 100, Montgomeryville, PA 18936</u> _____ Company Phone <u>(215)631-1900</u> Company Fax _____ Broker is (check only one): <input checked="" type="checkbox"/> Seller Agent (Broker represents Seller only) <input type="checkbox"/> Dual Agent (See Dual and/or Designated Agent box below)	Licensee(s) (Name) <u>Emily Landis Torres</u> _____ State License # <u>RS198699L</u> Direct Phone(s) <u>(267)640-2327</u> Cell Phone(s) _____ Email <u>emilysellsrealestate@gmail.com</u> Licensee(s) is (check only one): <input type="checkbox"/> Seller Agent (all company licensees represent Seller) <input checked="" type="checkbox"/> Seller Agent with Designated Agency (only Licensee(s) named above represent Seller) <input type="checkbox"/> Dual Agent (See Dual and/or Designated Agent box below)
<input type="checkbox"/> Transaction Licensee (Broker and Licensee(s) provide real estate services but do not represent Seller)	

DUAL AND/OR DESIGNATED AGENCY
A Broker is a Dual Agent when a Broker represents both Buyer and Seller in the same transaction. A Licensee is a Dual Agent when a Licensee represents Buyer and Seller in the same transaction. All of Broker's licensees are also Dual Agents UNLESS there are separate Designated Agents for Buyer and Seller. If the same Licensee is designated for Buyer and Seller, the Licensee is a Dual Agent.
By signing this Agreement, Buyer and Seller each acknowledge having been previously informed of, and consented to, dual agency, if applicable.

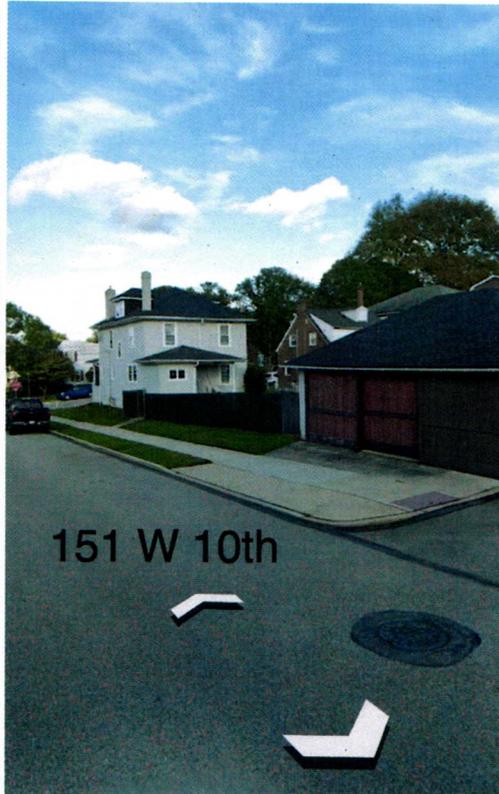
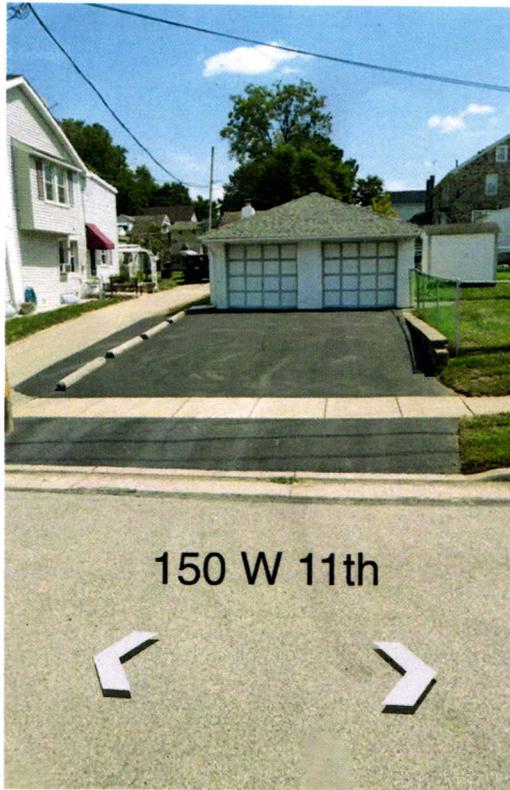
Buyer Initials: JMK BMC

Seller Initials: MSDR ^{DS}
LPDR



Addendum

Exhibit A: Other driveway aprons off Maple Street in close proximity to our property



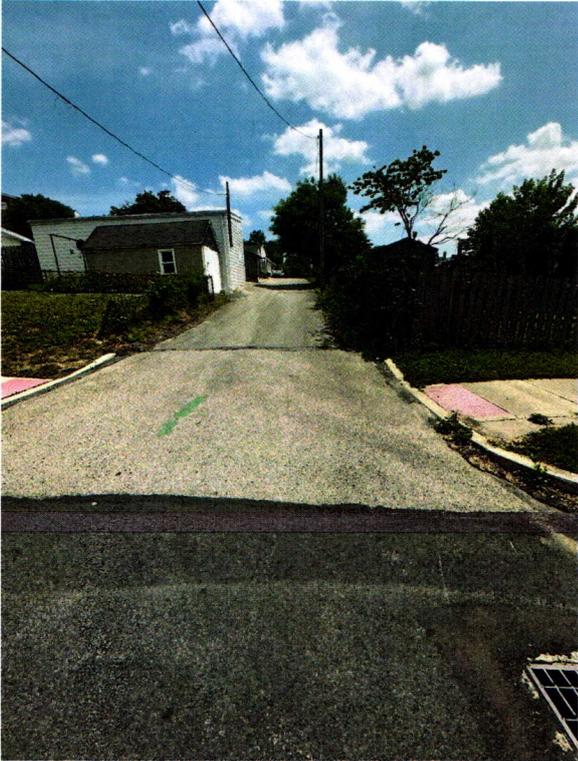
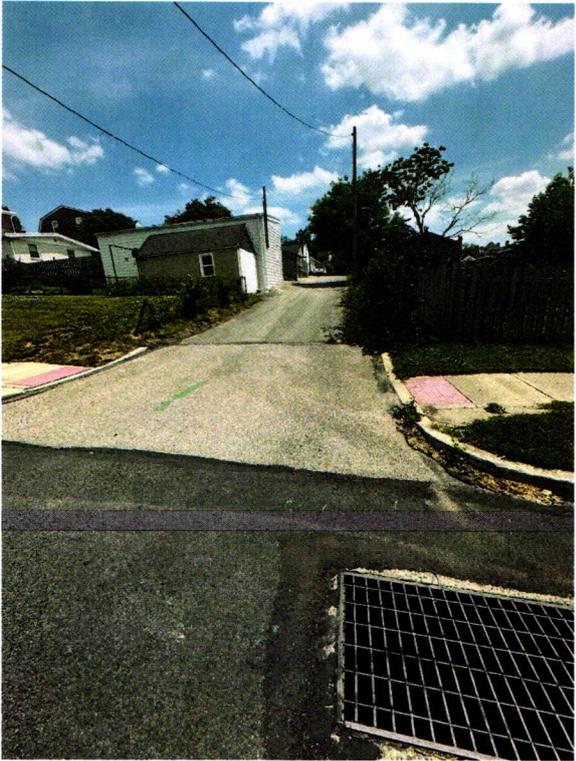
Select addresses with driveways on a Maple Street frontage:

- 150 W 9th Ave
- 152 W 4th Ave
- 200 W 4th Ave
- 18 Maple St
- 42 Maple St
- 121 Maple St
- 211 Maple St
- 300 Maple St
- 328 Maple St
- 405 Maple St
- 500 Maple St
- 502 Maple St
- 504 Maple St
- 506 Maple St
- 508 Maple St
- 510 Maple St

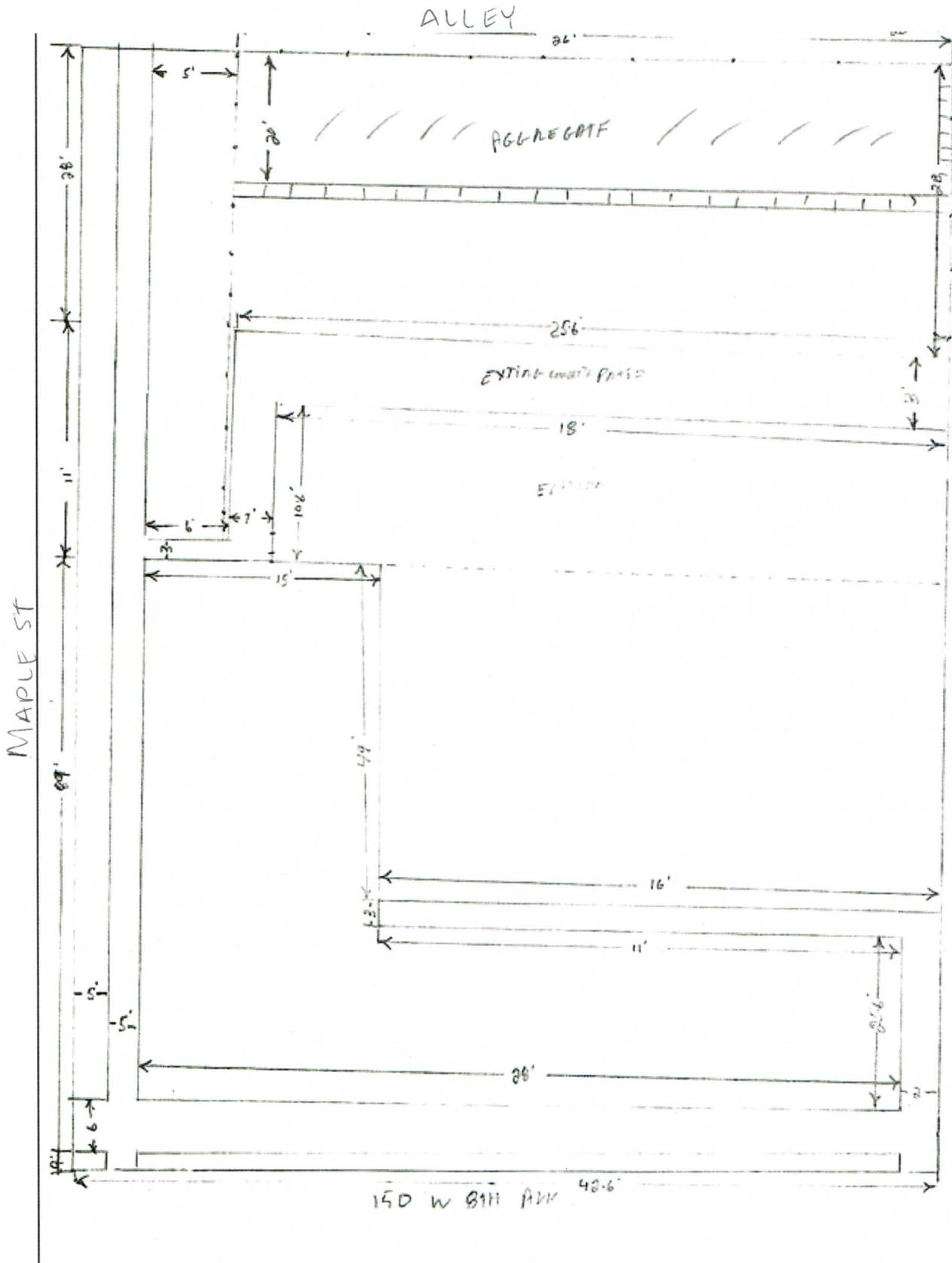
Exhibit B: Commercial activity frequently blocks alley



Exhibit C: Downward slope of alley



Site Plan: Can defer to Zoning Board in regards to size/location of curb cut/driveway apron.





BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

ZONING NOTICE JULY 17, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-13

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on July 17, 2023, at 7:00 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: Mutual of America Life Insurance Company (MOA)
320 Park Avenue, New York, NY 10022-6639

PREMISES INVOLVED: 46 Fayette Street
Conshohocken, PA 19428
SP-4 - Specially Planned District 4

OWNER OF RECORD: Concord Keystone SORA West Owner, LLC
1001 Conshohocken State Road, Suite 2-201
West Conshohocken, PA 19428

The petitioner is seeking a Variance from Sections 27-2105.A.(1), 27-2205.3, and 27-2108.1.2 of the Conshohocken Borough Zoning Ordinance to permit a 36 SF animated window display sign facing Fayette Street instead of the previously granted 32 SF animated window display sign in addition to one (1) other business identification sign facing Fayette Street, whereas animated signs are prohibited in the Borough and whereas the required maximum area of a marquee sign, painted wall sign, parallel wall sign or awning shall be 35 SF or 25% of the area of the wall, whichever is less, including windows and cornices to which they are attached.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: July 12, 2023
To: Stephanie Cecco, Brittany Rogers
From: Allison A. Lee, PE
Re: 46 West Fayette Street - Zoning Determination

History of the Site:

46 West Fayette Street (a.k.a. Concord Keystone Sora West Owner, LLC) is a multi-story commercial building comprised of a total of 92,338 SF of commercial space. The site is also the location of the West & Main Hotel. The site is a 17,211 square feet corner property located within the SP-4 - Specially Planned District Four zoning district. The property is fronted by Fayette Street to the east; West Elm Street to the south; an open plaza of the SORA development to the north; and the Washington Fire Co. No. 36 and the multi-level Keystone - Sora parking garage located at the corner of Hector Street and West Elm Street to the west.

The Applicant, Mutual of America Life Insurance Company (MOA), will be leasing 3,754 SF of the ground floor commercial space at the corner of the building adjacent to the Fayette Street and West Elm Street intersection.

Current Request:

The Applicant, Mutual of America Life Insurance Company (MOA), previously went before the Zoning Hearing Board at the hearing held on February 27, 2023 under Zoning Application no. Z-2023-02, seeking relief from Sections §27-2105, §27-2108. A & B, §27-2205.3 of the Conshohocken Borough Zoning Ordinance of 2001. Based on the Zoning Hearing Board Decision dated April 13, 2023, the Applicant was granted in part and denied in part. The Applicant was permitted to install three (3) signs on West Elm Street and two (2) signs on Fayette Street in conformance with the plans, testimony, and other evidence presented to the Zoning Hearing Board subject to the following conditions:

1. With the exception of signs that are halo-lit, no sign shall be illuminated between the hours of 9:00 PM to 6:00 AM the following day;
2. No sign shall contain third party advertisement;
3. Only one (1) sign on Fayette Street may be animated; and
4. The images on all animated signs shall not change more than once every thirty (30) seconds.

Pursuant to the Zoning Hearing Board Decision, the Applicant is now seeking a variance from §27-2105.A.(1), §27-2108.1.2, and §27-2205.3 of the Borough of Conshohocken Zoning Code to permit the installation of a 36 SF animated digital window sign for the proposed tenant space facing Fayette Street. During the process of ordering the screens for the preparation of the animated sign facing Fayette Street, it was determined that the material could not be manufactured for an animated sign at the previously approved 32 SF sign size.

Zoning Determination:

The Applicant is seeking a variance from §27-2105.A.(1), §27-2108.1.2, and §27-2205.3 of the Borough of Conshohocken Zoning Code.

In accordance with Zoning Code Section §27-2205.3, each accessory first floor use is allowed one sign which meets the requirements set forth in §27-2108 for signs permitted within the Commercial and Industrial District. The proposed animated sign will be the second sign located on the building façade facing Fayette Street.

Per Zoning Code Section §27-2105.A.(1), an animated sign is a prohibited sign in the Borough. In accordance with Zoning Code Section §27-2108.1.2, the maximum area of a wall sign is 35 SF, or 25% of the area of the wall whichever is less, including windows and cornices, to which they are attached. The proposed animated window sign will be 36 SF, which exceeds the permitted 35 SF maximum sign area.

Since the proposed 36 SF animated window sign is larger than the 32 SF animated window sign size previously granted in the April 13, 2023 Zoning Hearing Board Decision, the Applicant will be required to seek a variance from Sections §27-2105.A.(1), §27-2108.1.2, and §27-2205.3 of the Borough of Conshohocken Zoning Code to permit the proposed larger 36 SF animated window sign facing the Fayette Street side of the building, whereas a maximum sign size of 35 SF is required; whereas animated signs are prohibited in the Borough; and whereas the animated sign will be the second sign to the building facing Fayette Street for the commercial tenant space.



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Zoning Application

Application: Z-2023-13
Date Submitted: 6/15/23
Date Received: 6/15/23

1. Application is hereby made for:

Special Exception Variance

Appeal of the decision of the zoning officer

Conditional Use approval Interpretation of the Zoning Ordinance

Other _____

2. Section of the Zoning Ordinance from which relief is requested:

See Addendum

3. Address of the property, which is the subject of the application:

Northeast corner of Fayette and West Elm Streets, Conshohocken

4. Applicant's Name: Mutual of America Life Insurance Company ("MOA")

Address: 320 Park Avenue, NY, NY

Phone Number (daytime): Attorney Ross Weiss - 484-362-8751

E-mail Address: rweiss@cosen.com

5. Applicant is (check one): Legal Owner Equitable Owner ; Tenant

6. Property Owner: Concord Keystone Sora West Owner, LLC

Address: 1001 Conshohocken State Rd., Suite 2-201, West Conshohocken, PA

Phone Number: 610-980-7000

E-mail Address: _____

7. Lot Dimensions: See Addendum Zoning District: See Addendum

8. Has there been previous zoning relief requested in connection with this Property?

Yes No If yes, please describe.

Signage requested and granted for 3 wall/display signs on the W. Elm elevation and 2 wall/display signs on Fayette elevation for the benefit exclusively of "MOA". Total exposure for the five (5) signs was 78 sq. ft.

See Addendum

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

See Addendum

10. Please describe the proposed use of the property.

See Addendum

11. Please describe proposal and improvements to the property in detail.

See Addendum

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

See Addendum

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property: See Addendum

b. How the Zoning Ordinance unreasonably restricts development of the property:
See Addendum

c. How the proposal is consistent with the character of the surrounding neighborhood. _____
See Addendum

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed.
See Addendum

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.

a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

Not applicable

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

Not Applicable

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

Not Applicable

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

Not Applicable

c. Please describe in detail the reasons why the requested relief should be granted.

Not Applicable

16. If the applicant is being represented by an attorney, please provide the following information.

a. Attorney's Name: Ross Weiss, Esquire

b. Address: Cozen O'Connor, 1001 Conshohocken St. Rd., Ste. 2-400, W. Conshohocken

c. Phone Number: 484-362-8751

d. E-mail Address: rweiss@cozen.com

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.

MUTUAL OF AMERICA LIFE INSURANCE COMPANY
Applicant

[Signature]
Legal Owner

Date 6/15/23

~~COMMONWEALTH OF PENNSYLVANIA~~ STATE OF NEW YORK
~~COUNTY OF MONTGOMERY~~ NEW YORK

As subscribed and sworn to before me this 15th day of
June, 2023

Joseph G. Selvaggio
Notary Public

(Seal)

JOSEPH G. SELVAGGIO
Notary Public, State of New York
No. 01SE6027952
Qualified in Bronx County
Commission Expires July 19, 2025



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Decision

(For Borough Use Only)

Application Granted

Application Denied

MOTION:

CONDITIONS:

BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

DATE OF ORDER: _____

ADDENDUM

APPLICATION OF MUTUAL OF AMERICA (“MOA”) FOR ADDITIONAL SIGNAGE RELIEF AT THE BUILDING OWNED BY CONCORD KEYSTONE SORA WEST OWNER, LLC, LOCATED AT THE CORNER OF FAYETTE AND WEST ELM STREETS

BACKGROUND

The Applicant, MOA, is a financial services company that has been in business since 1945. It will occupy 3,754 square feet of the ground floor corner of the building owned by Concord Keystone Sora West, Owner, LLC, located at the corner of Fayette and West Elm Streets in the Borough of Conshohocken. The building has 92,338 square feet of commercial space over seven (7) floors. It is also the location of the Hotel West and Main/Tapestry by Hilton whose address is 46 Fayette Street.

Fayette Street slopes down toward the Fayette Street Bridge. The building is constructed into the slope. MOA’s occupancy of the corner of the ground floor of the building, will be in close proximity to the Fayette Street Bridge. The building is located between the Washington Fire Company and the significant intersection of Fayette and West Elm Streets. There is no adjacent street parking on either Fayette or West Elm Streets. The parking structure for the building is a couple of blocks away on West Elm Street. There are a number of office buildings and businesses surrounding the Fayette and West Elm Streets intersection.

The building is located in the SP-4 Zoning District. The office use is permitted in this district.

Applicant incorporates by reference the testimony at the February 27, 2023 Zoning Hearing, all exhibits and the attached Decision of the Board for Application No. Z-2023-2.

ADDITIONAL SIGNAGE RELIEF

Sign E was previously approved at 32 square feet. During the process of ordering the screens for preparation of Sign E, it was determined that the material could not be manufactured for assembly at 32 square feet. The materials’ limitations and the “small landscape matrix” configuration of the LCD tiles are only available at 36 square feet or at a much smaller dimension. Applicant requests an additional variance to permit Sign E to be 36 square feet instead of 32 square feet.

Section 27-2205 (3) specific to buildings within the “SP-4 District” refers to Section 27-2108.1 for “Dimensional Standards” which states “The maximum area of a marquee sign, painted wall sign, parallel wall sign or awning shall be 35 square feet or 25% of the area of the wall, whichever is less, including windows and cornices to which they are attached.” Applicant requests a variance for the additional four square feet of Sign E.

The previous approval was for “animated signage” pertaining to Sign E per Section 27-2105.A (1). Similarly, the sign was also previously approved for placement on Fayette Street per Section 27-2108 A&B.

EXHIBITS

- 1) Decision of the Board for Application No. Z-2023-02
- 2) Signage design package prepared by City Sign Service dated June 14, 2023 containing:
 - A. Plan Showing Location of Sign E
 - B. Previously Approved Signage Plan
 - C. Proposed Fayette Street Elevation – Storefront Signage
 - D. View- Storefront-Fayette Street

BASIS FOR RELIEF

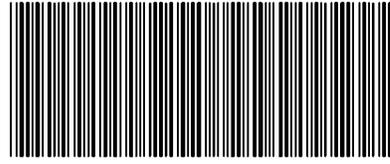
- 1) The location of the building in which MOA will occupy 3,754 sq ft creates an undue hardship not caused by MOA including, but not limited to, the slope of Fayette Street, the size of the building, the significant intersection of Fayette and West Elm Streets at the entrance of the Fayette Bridge, the lack of adjacent parking, the significant number and sizes of office buildings and businesses with signage in the area surrounding Fayette and West Elm Streets and that the building is also occupied by the Hotel West and Main/Tapestry by Hilton.
- 2) The relief requested is the minimal relief necessary to adequately direct the public to the MOA location.
- 3) The relief requested is de minimis under the circumstances.
- 4) The relief requested will not endanger the health, safety and welfare of Conshohocken Borough community. It will actually benefit the health, safety and welfare of the community.



RECORDER OF DEEDS
MONTGOMERY COUNTY
Jeanne Sorg

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 6215 PG 00342 to 00352.2
INSTRUMENT # : 2021022332
RECORDED DATE: 03/01/2021 02:13:57 PM



5898793-00278

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 13

Document Type: Deed
Document Date: 12/08/2020
Reference Info:

Transaction #: 6252543 - 7 Doc(s)
Document Page Count: 10
Operator Id: dkrasley

RETURN TO: (Simplifile)
First American Title Insurance Company - NCS
Philadelphia
Two Liberty Place, Suite 2600 50 S. 16th Street
Philadelphia, PA 19102
(215) 606-3627

PAID BY:
FIRST AMERICAN TITLE INSURANCE COMPANY - NCS
PHILADELPHIA

*** PROPERTY DATA:**
Parcel ID #: 05-00-02852-00-5
Address: 46 FAYETTE ST
CONDO 2
PA
Municipality: Conshohocken Borough
(100%)
School District: Colonial

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT: \$10.00
TAXABLE AMOUNT: \$5,154,545.00

DEED BK 6215 PG 00342 to 00352.2
Recorded Date: 03/01/2021 02:13:57 PM

FEES / TAXES:

Recording Fee:Deed	\$86.75
Affidavit Fee	\$1.50
Additional Pages Fee	\$12.00
Additional Names Fee	\$1.50
Affordable Housing Pages	\$12.00
Affordable Housing Names	\$1.50
State RTT	\$51,545.45
Conshohocken Borough RTT	\$25,772.72
Colonial School District RTT	\$25,772.73

I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.



Jeanne Sorg
Recorder of Deeds

Total: \$103,206.15

Rev1 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

***COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION**



When Received Return To:
First American Title Insurance Company
National Commercial Services
2 Liberty Place, 50 S. 16th St., Suite 2600
Philadelphia, PA 19102
File No. NCS - 945193

Prepared by:

Klehr Harrison Harvey Branzburg LLP
1835 Market Street, Suite 1400
Philadelphia, PA 19103
Telephone: 215.569.4199
Facsimile: 215.568.6603
Attn: Stephan L. Cutler

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
05-00-02852-00-5 CONSHOHOCKEN BOROUGH
46 FAYETTE ST CONDO 2
SORA WEST ASSOCIATES LLC
B 009 L 2 U 026 4345 03/01/2021

\$15.00
JW

Record and Return to:

Klehr Harrison Harvey Branzburg LLP
1835 Market Street, Suite 1400
Philadelphia, PA 19103
Telephone: 215.569.4199
Facsimile: 215.568.6603
Attn: Stephan L. Cutler

Tax Parcel No: **05-00-02852-005**

SPECIAL WARRANTY DEED

Keystone River Crossing First, L.P., a Pennsylvania limited partnership, and Keystone River Crossing Elm, L.P., a Pennsylvania limited partnership and SORA West Associates, LLC, a Delaware limited liability company,
Co-Grantors

to

Concord Keystone SORA West Owner LLC, a Delaware limited liability company,
Grantee

Premises: Unit Two
SORA West Condominium
Borough of Conshohocken,
Montgomery County,
Pennsylvania



SPECIAL WARRANTY DEED

THIS INDENTURE is made as of December 8, 2020 (the "**Execution Date**") and intended to be effective as of December 23, 2020 (the "**Effective Date**"), by **SORA WEST ASSOCIATES, LLC**, a Delaware limited liability company ("**SWA**"), **KEYSTONE RIVER CROSSING FIRST, L.P.**, a Pennsylvania limited partnership ("**KRCF**"), and **KEYSTONE RIVER CROSSING ELM, L.P.**, a Pennsylvania limited partnership ("**KRCE**"; SWA, KRCF and KRCE are collectively called the "**Grantor**"), of the one part, in favor of **CONCORD KEYSTONE SORA WEST OWNER LLC**, a Delaware limited liability company (hereinafter called the "**Grantee**"), of the other part.

WITNESSETH, that the Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) lawful money of the United States of America, unto it well and truly paid by the Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the Grantee, its successors and assigns,

ALL THAT CERTAIN UNIT TWO in the condominium property known, named and identified in the Declaration of Condominium of SORA West Condominium and the Plats and Plans attached thereto (the "**Original Declaration**"), situate in Conshohocken Borough, Montgomery County, Commonwealth of Pennsylvania and established pursuant to the provisions of the Pennsylvania Uniform Condominium Act, 68 P.S. §3101 et seq. (the "**Condo Act**"), said Original Declaration made as of December, 27 2018, but effective as of December 28, 2018 and recorded on January 22, 2019 in the Office of the Recorder of Deeds in and for Montgomery County, Pennsylvania ("**Recorder's Office**") as Instrument Number 2019004699 in Deed Book 6122, Pages 2358, as amended by that certain First Amendment to Declaration of Condominium of SORA West Condominium made as of December 8, 2020 and intended to be effective as of December 23, 2020 (the "**First Amendment**"; and together with the Original Declaration, the "**Declaration**") by and among Grantor and SORA West OU Owner LLC, a Delaware limited liability company (the "**Unit**").

TOGETHER WITH all right, title and interest to a ten percent (10%) undivided interest of, in and to the Common Elements, as more particularly set forth in the Declaration and any amendments thereto.

ALSO TOGETHER WITH all right, title and interest to an undivided interest of, in and to the Limited Common Elements, as more particularly set forth in the Declaration and any amendments thereto.

BEING PART OF the same premises which SWA, by Deed of Confirmation dated 12/28/2018 and recorded 01/22/2019 in the Recorder's Office at Deed Book 6122 Page 2221, granted and conveyed unto SWA, in fee.

BEING AS TO PART the same premises which KRCF, by Deed of Confirmation dated 12/28/2018 and recorded 01/22/2019 in the Recorder's Office at Deed Book 6122 Page 2229, granted and conveyed unto KRCF in fee.



BEING AS TO PART the same premises which KRCF, by Deed of Confirmation dated 12/28/2018 and recorded 01/22/2019 in the Recorder's Office at Deed Book 6122 Page 2236, granted and conveyed unto KRCF in fee.

BEING AS TO PART the same premises which KRCE, by Deed of Confirmation dated 12/28/2018 and recorded 01/22/2019 in the Recorder's Office at Deed Book 6122 Page 2243, granted and conveyed unto KRCE in fee.

TOGETHER WITH all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, watercourses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any way appertaining, and the reversions and remainders, rents, issues, and profits thereof and therefrom; and all the estate, right, title, interest, property, claim and demand whatsoever of the Grantor, in law, equity, or otherwise, of, in, and to the same and every part thereof (collectively, the "**Appurtenances**").

UNDER AND SUBJECT TO those matters set forth on Exhibit A attached hereto.

TO HAVE AND TO HOLD the Unit and the Appurtenances in fee simple, unto the Grantee, its successors and assigns, to and for the use and benefit of the Grantee, its successors and assigns, forever.

AND the Grantor, for itself and its successors and its assigns, does hereby covenant, promise and agree, to and with the Grantee, its successors and assigns, by these presents, that the Grantor, and its successors, shall and will WARRANT and forever DEFEND the Unit and Appurtenances, subject as aforesaid, against the Grantor and its successors and assigns, and against each and every person who lawfully claims or seeks to claim the same or any part thereof, by, from or under Grantor, its successors and assigns, or any of them.

[Signature Pages Follow]

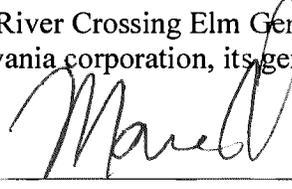


IN WITNESS WHEREOF, the undersigned have caused this instrument to be executed on the Execution Date.

Keystone River Crossing Elm, L.P., a Pennsylvania limited partnership

By: Keystone River Crossing Elm General, L.P., a Pennsylvania limited partnership, its general partner

By: Keystone River Crossing Elm General, Inc., a Pennsylvania corporation, its general partner

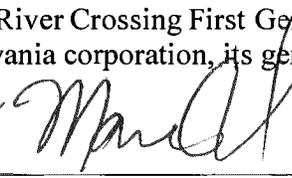
By: 

Name: Marc Rash
Title: Authorized Signatory

Keystone River Crossing First, L.P., a Pennsylvania limited partnership

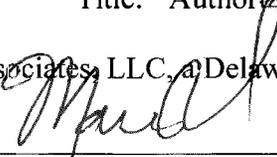
By: Keystone River Crossing First General, L.P., a Pennsylvania limited partnership, its general partner

By: Keystone River Crossing First General, Inc., a Pennsylvania corporation, its general partner

By: 

Name: Marc Rash
Title: Authorized Signatory

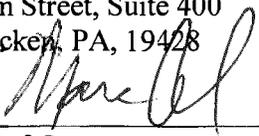
SORA West Associates, LLC, a Delaware limited liability company

By: 

Name: Marc Rash
Title: Authorized Signatory

CERTIFICATE OF GRANTEE'S ADDRESS:

The address of the within named Grantee is:
125 E. Elm Street, Suite 400
Conshohocken, PA, 19428

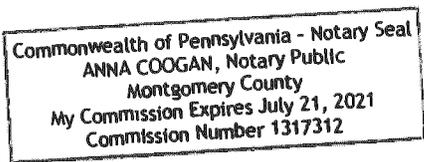


On behalf of Grantee



COMMONWEALTH OF PENNSYLVANIA :
: SS.
COUNTY OF *Montgomery* :

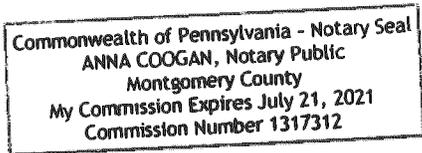
This record was acknowledged before me on December 8th, 2020 by Marc Rash, as Authorized Signatory for Keystone River Crossing Elm General, Inc., a Pennsylvania corporation, which is the general partner in Keystone River Crossing Elm General, L.P., a Pennsylvania limited partnership, which is the general partner in Keystone River Crossing Elm, L.P., a Pennsylvania limited partnership, who represents that he is authorized to act on behalf of such corporation (as general partner of the limited partnership (as general partner of the limited partnership)).



Anna Coogan
Signature of notarial officer
Stamp:
Title of Office: Keystone Property Group
My Commission Expires: 7/21/2021

COMMONWEALTH OF PENNSYLVANIA :
: SS.
COUNTY OF *Montgomery* :

This record was acknowledged before me on December 8th, 2020 by Marc Rash, as Authorized Signatory for Keystone River Crossing First General, Inc., a Pennsylvania corporation, which is the general partner in Keystone River Crossing First General, L.P., a Pennsylvania limited partnership, which is the general partner in Keystone River Crossing First, L.P., a Pennsylvania limited partnership, who represents that he is authorized to act on behalf of such corporation (as general partner of the limited partnership (as general partner of the limited partnership)).



Anna Coogan
Signature of notarial officer
Stamp:
Title of Office: Keystone Property Group
My Commission Expires: 7/21/2021

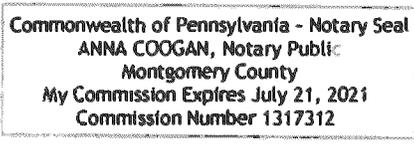


COMMONWEALTH OF PENNSYLVANIA :
 : SS.
 COUNTY OF Montgomery :

This record was acknowledged before me on December 8th, 2020 by marc rash, as Authorized Signatory for SORA West Associates, LLC, a Delaware limited liability company, who represents that he is authorized to act on behalf of such corporation (as general partner of the limited partnership (as general partner of the limited partnership)).

Anna Coogan
 Signature of notarial officer

Stamp:
 Title of Office: Keystone Property Group
 My Commission Expires: 7/21/2021



CERTIFICATE OF GRANTEE'S ADDRESS:

The address of the within named Grantee is:

125 E. Elm Street, Suite 400

Conshohocken, PA, 19428



On behalf of Grantee



EXHIBIT A

Permitted Exceptions

1. Subject to all matters shown on the Plans as recorded in the Recorder's Office in Plan Book A-45 Page 138 and Plan Book 51 Page 463.
2. Rights granted to The Bell Telephone Company of Pennsylvania as set forth in Deed Book 4773 Page 282 (affects common elements only).
3. Rights granted to The Bell Telephone Company of Pennsylvania as set forth in Deed Book 4731 Page 1579 (affects common elements only).
4. Rights granted to Philadelphia Electric Company as set forth in Deed Book 4767 Page 275 (affects common elements only).
5. Restrictions as set forth in Deed Book 2982 Page 174 (affects common elements only)
6. Rights granted to The Bell Telephone Company of Pennsylvania as set forth in Deed Book 4743 Page 962.
7. Vacation/Lot Line Change Plan recorded 01/22/2019 in the Recorder's Office in Plan Book 49 page 432.
8. Completion Covenant, dated 12/28/2018, and recorded 1/22/19 in the Recorder's Office in Deed Book 6122, page 2155, as amended by that certain Amendment to Completion Covenant, Completion Guaranty and Agreement of Sale dated 1/22/2020 recorded at Deed Book 6199, Page 2468, that certain Second Amendment to Completion Covenant, Completion Guaranty and Agreement of Sale dated 12/23/2020 and thereafter recorded, that certain Third Amendment to Completion Covenant, Completion Guaranty and Agreement of Sale dated 12/23/2020 and thereafter recorded, and as it may be further amended thereafter from time to time.
9. Covenants, Conditions and Restrictions set forth in Deed from The Redevelopment Authority of the County of Montgomery to SORA West Associates, LLC., a Delaware limited liability company recorded 01/22/2019 in the Recorder's Office in Deed Book 6122 page 2165.
10. Declaration of Restrictive Covenant and Right of First Refusal Agreement by and between Washington Hose and Steam Fire Engine Company #1 of Conshohocken and SORA West Associates, LLC recorded 01/22/2019 in the Recorder's Office in Deed Book 6122 Page 2191. (affects common elements only)
11. Parking and Access Easement Agreement by and among Keystone River Crossing First, LP, Keystone River Crossing Elm, LP, Sora West Associates, LLC and the Washington Hose & Steam Fire Engine Co. #1 of Conshohocken recorded 01/22/2019 in the Recorder's



- Office in Deed Book 6122 page 2206, as amended by Amendment to Parking and Access Easement Agreement by and among Keystone River Crossing First, LP, Keystone River Crossing Elm, LP, Sora West Associates, LLC and the Washington Hose & Steam Fire Engine Co. #1 of Conshohocken dated November 19, 2020 and intended to be recorded in the Recorder's Office prior to the recording of this Deed.
12. Site and Record Plan recorded 01/22/2019 in Plan Book 49 page 434. Site and Record Plan Notes recorded 01/22/2019 in Plan Book 49 page 435. Easement Plan recorded 01/22/2019 in the Recorder's Office in Plan Book 49 page 436.
 13. Post Construction Stormwater Management Plan recorded 01/22/2019 in the Recorder's Office in Plan Book 49 page 437.
 14. Second Amended Land Development Plans intended to be recorded in the Recorder's Office prior to the recording of this Deed.
 15. Parking Agreement by and among The Borough of Conshohocken, Keystone River Crossing First, LP, Keystone River Crossing Elm, LP and SORA West Associates, LLC recorded 01/22/2019 in the Recorder's Office in Deed Book 122 page 2250, as amended by Amendment to Parking Agreement dated 08/26/2019 and recorded 08/27/2019 in the Recorder's Office in Deed Book 6150 Page 2223, and a Second Amendment to Parking Agreement dated 12/~~08~~/2020 and intended to be recorded in the Recorder's Office prior to the recording of this Deed.
 16. Public Plaza and Access Easement Agreement by and among Keystone River Crossing First, LP, Keystone River Crossing Elm, LP, SORA West Associates, LLC and the Borough of Conshohocken recorded 01/22/2019 in the Recorder's Office in Deed Book 6122 page 2267, as amended by Amendment to Public Plaza and Access Agreement dated 08/26/2019 and recorded 08/27/2019 in the Recorder's Office in Deed Book 6150 Page 2268, and a Second Amendment to Public Plaza Agreement dated 12/~~08~~/2020 and intended to be recorded in the Recorder's Office prior to the recording of this Deed.
 17. Land Development Agreement by and among Keystone River Crossing First, L.P., Keystone River Crossing Elm, L.P., SORA West Associates, LLC, Keystone Property Group, L.P., The Borough of Conshohocken and The Redevelopment Authority of Montgomery County recorded 01/22/2019 in the Recorder's Office in Deed Book 6122 page 2290, as amended by Amendment to Land Development Agreement dated 08/26/2019 and recorded 08/27/2019 in the Recorder's Office in Deed Book 6150 Page 2186 and Second Amendment to Land Development Agreement dated 12/~~08~~/2020 and intended to be recorded in the Recorder's Office prior to the recording of this Deed.
 18. Stormwater Facilities Maintenance and Monitoring Agreement by and among Keystone River Crossing First, L.P., Keystone River Crossing Elm, L.P., SORA West Associates, LLC, Keystone Property Group, L.P. and the Borough of Conshohocken recorded 01/22/2019 in the Recorder's Office in Deed Book 6122 page 2335, as amended by Amendment to Stormwater Facilities Maintenance and Monitoring Agreement dated



08/26/2019 and recorded 08/27/2019 in the Recorder's Office in Deed Book 6150 Page 2232 and Second Amendment to Stormwater Facilities Maintenance and Monitoring Agreement dated 12/08/2020 and intended to be recorded in the Recorder's Office prior to the recording of this Deed.

19. The Declaration of Condominium of SORA West Condominium in the Montgomery County Recorder of Deeds Office dated 12/27/2018, effective 12/28/2018 and recorded 1/22/2019 in the Recorder's Office in Deed Book 6122, Page 2358 as Instrument No. #2019004699, as amended by the First Amendment to Declaration of Condominium of SORA West Condominium with Plats and Plans dated 12/8/2020 and intended to be recorded in the Recorder's Office prior to the recording of this Deed.
20. Deed of Easement by and between SORA West Associates, LLC and Borough of Conshohocken Authority as set forth in Deed Book 6179 Page 496.
21. Agreement for the Implementation of Transportation Demand Management Plan dated 12/08/2020 and intended to be recorded in the Recorder's Office prior to the recording of this Deed.
22. Co-Applicant Agreement For A Highway Occupancy Permit For Stormwater Facilities dated 12/08/2020 and intended to be recorded in the Recorder's Office prior to the recording of this Deed.
23. Statement of Levy and Lien of Assessment Agreement Commercial Property Assessed Clean Energy by and among Montgomery County, Pennsylvania, the Montgomery County Redevelopment Authority, Concord Keystone SORA West Owner LLC and Greenworks Lending LLC intended to be recorded in the Recorder's Office prior to the recording of this Deed.





1830019105

REV-183 BUREAU OF INDIVIDUAL TAXES PO BOX 280603 HARRISBURG, PA 17128-0603

REALTY TRANSFER TAX STATEMENT OF VALUE COMPLETE EACH SECTION

RECORDER'S USE ONLY State Tax Paid: \$51,545.45 Book: 6215 Page: Instrument Number: 00342 Date Recorded: 03/01/2021 02:13:57 PM Addendum (0) of (1)

SECTION I TRANSFER DATA

Date of Acceptance of Document 12/23/2020 Grantor(s)/Lessor(s) SEE ATTACHED Telephone Number (610) 980-7000 Grantee(s)/Lessee(s) SEE ATTACHED Telephone Number (610) 980-7000 Mailing Address 125 Elm Street, Suite 400 City Conshohocken State Pa ZIP Code 19428

SECTION II REAL ESTATE LOCATION

Street Address 46 Fayette St. City, Township, Borough Conshohocken County Montgomery School District Colonial Tax Parcel Number 05-00-02852-00-5

SECTION III VALUATION DATA

Was transaction part of an assignment or relocation? YES NO 1. Actual Cash Consideration 5,154,545.00 2. Other Consideration + 3. Total Consideration = 5,154,545.00 4. County Assessed Value 761,180.00 5. Common Level Ratio Factor x 2.13 6. Computed Value = 1,621,313.40

SECTION IV EXEMPTION DATA - Refer to instructions for exemption status.

1a. Amount of Exemption Claimed \$ 0.00 1b. Percentage of Grantor's Interest in Real Estate 100 % 1c. Percentage of Grantor's Interest Conveyed 100 %

- 2. Fill in the Appropriate Oval Below for Exemption Claimed. Will or intestate succession. Transfer to a trust. Transfer from a trust. Transfer between principal and agent/straw party. Transfers to the commonwealth, the U.S. and instrumentalities by gift, dedication, condemnation or in lieu of condemnation. Transfer from mortgagor to a holder of a mortgage in default. Corrective or confirmatory deed. Statutory corporate consolidation, merger or division. Other

See attached for names of Grantor and Grantee, and a detailed explanation of the exemption claimed.

SECTION V CORRESPONDENT INFORMATION - All inquiries may be directed to the following person:

Name SORA West Associates, LLC Telephone Number (610) 980-7000 Mailing Address 125 Elm Street, Suite 400 City Conshohocken State Pa ZIP Code 19428

Under penalties of law, I declare that I have examined this statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete. Signature of Correspondent or Responsible Party Date 12/23/2020

FAILURE TO COMPLETE THIS FORM PROPERLY OR ATTACH REQUESTED DOCUMENTATION MAY RESULT IN THE RECORDER'S REFUSAL TO RECORD THE DEED.



1830019105

1830019105



NCS-945193

Attachment to

State of Pa Realty Transfer Tax Statement of Value

SPECIAL WARRANTY DEED

Keystone River Crossing First, L.P., a Pennsylvania limited partnership, and Keystone River Crossing Elm, L.P., a Pennsylvania limited partnership and SORA West Associates, LLC, a Delaware limited liability company,
Grantors

to

Concord Keystone SORA West Owner LLC, a Delaware limited liability company,
Grantee



LEASE AGREEMENT

CONCORD KEYSTONE SORA WEST OWNER, LLC
Landlord

AND

MUTUAL OF AMERICA LIFE INSURANCE COMPANY
Tenant

AT

Northwest corner of W. Elm Street and Fayette Street
Borough of Conshohocken
Montgomery County
Pennsylvania

THIS LEASE AGREEMENT ("Lease") is made by and between **CONCORD KEYSTONE SORA WEST OWNER, LLC**, a Delaware limited liability company ("Landlord") and **MUTUAL OF AMERICA LIFE INSURANCE COMPANY**, a New York corporation ("Tenant"), and is dated as of the last date on which this Lease has been fully executed by Landlord and Tenant. In consideration of the mutual covenants and conditions contained herein and intending to be legally bound, the parties hereby agree as follows:

1. Basic Lease Terms and Definitions.

(a) **Premises:** Approximately 3,754 rentable square feet of space, as shown on Exhibit "A". The Premises are located on the ground floor of the Building.

(b) **Building:** The building located and having the street address at the Northwest corner of W. Elm Street and Fayette Street, Conshohocken, PA 19428, deemed to contain approximately 92,338 rentable square feet.

(c) **Term:** One hundred twenty-two (122) full calendar months from the Commencement Date (plus any partial month from the Commencement Date until the first day of the next full calendar month during the Term, if the Commencement Date is not the first day of the month).

(d) **Delivery Date; Commencement Date:** The "Delivery Date" shall mean the date upon which the Premises are delivered to Tenant with that certain Base Building Work (as defined in the Work Letter attached hereto as Exhibit "E" (the "Work Letter")) having been Substantially Completed (as defined in the Work Letter), estimated to be January 15, 2023, subject to adjustment as provided in Exhibit "E", or the date Tenant, with Landlord's consent, takes possession of the Premises or enters on the Premises for purposes of commencing Tenant's Work pursuant to the Work Letter, if earlier. The "Commencement Date" shall mean the earliest to occur of the following: (i) upon substantial completion of the Tenant's Work pursuant to the Work Letter, or (ii) the date that is one hundred eighty (180) days following the Delivery Date, or (iii) the date that Tenant first occupies the Premises in whole or in part for purposes of conducting business operations therein. Landlord shall not charge Tenant with a "failure to open" penalty, but the Term and Tenant's obligation to pay Rent will commence on the earliest Commencement Date determined as set forth above. At Landlord's request Tenant shall execute a written confirmation of the Delivery Date, Commencement Date and other matters concerning the Lease on Landlord's form.

(e) **Expiration Date:** The last day of the Term.

(f) **Base Rent:** Payable in monthly installments as follows:

Period of Term From To	Annual Base Rent	Monthly Installments	Per Sq. Ft. Rate
From Commencement Date through Month 12			
From Month 13 through Month 24			
From Month 25 through Month 36			
From Month 37 through Month 48			
From Month 49 through Month 60			
From Month 61 through Month 72			
From Month 73 through Month 84			
From Month 85 through Month 96			
From Month 97 through Month 108			
From Month 109 through Month 120			
From Month 121 through Month 122			

Landlord and Tenant have executed this Lease on the respective date(s) set forth below.

Date signed:

01/17/2023 | 1:51 PM EST
2023

Witness:

DocuSigned by:
Maria Pistilli
Name (printed): Maria PISTILLI

Date signed:

01/11/2023 | 10:17 AM EST
2023

Witness:

DocuSigned by:
Hal Bacharach
Name (printed): Hal Bacharach

Landlord:

CONCORD KEYSTONE SORA WEST OWNER, LLC,
a Delaware limited liability company

DocuSigned by:
Rich Gottlieb
By: _____
Name: Rich Gottlieb
Title: President

Tenant:

MUTUAL OF AMERICA LIFE INSURANCE COMPANY,
a New York corporation

DocuSigned by:
Thomas Cicciano
By: _____
Name: Thomas Cicciano
Title: Sr. VP Real Estate & Payroll

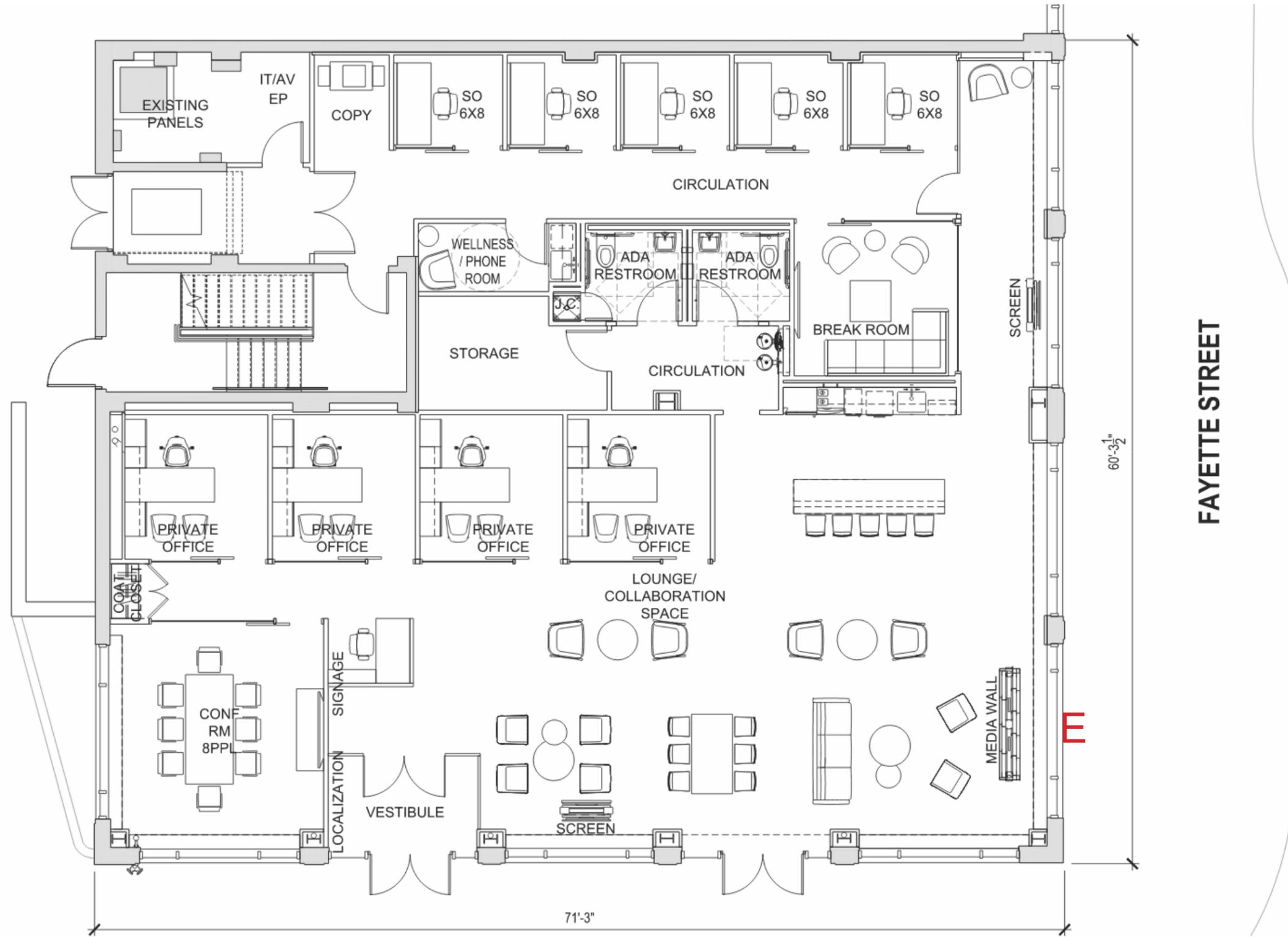


Retirement Services • Investments

MUTUAL OF AMERICA
SORA WEST
46 FAYETTE STREET
CONSHOHOCKEN
PA 19428

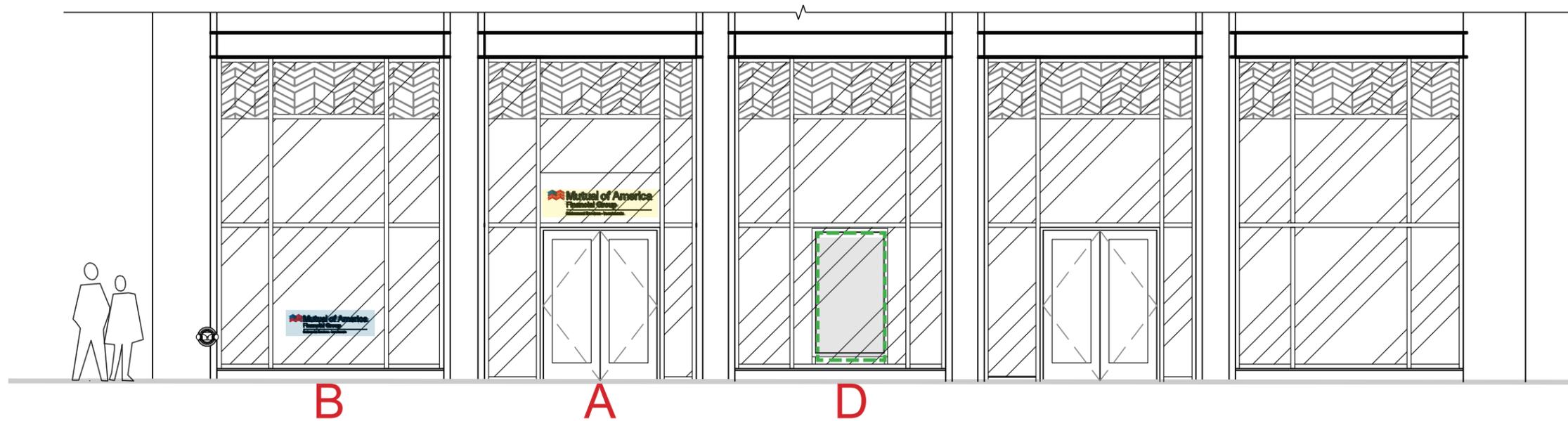
SIGNAGE DESIGN
06.14.23

PLAN



FAYETTE STREET

SIGNAGE PREVIOUSLY APPROVED AT ZHB EVENT ON 02.27.23



- A** ■ EXTERIOR PIN MOUNTED BACK LIT SIGNAGE
- 5'-4" X 1'-3" = 6.75 SQFT
- B** ■ WINDOW FILM SIGNAGE
- 4'-0" X 1'-0" = 4 SQFT
- D** ■ 86" INTERIOR MONITOR WITH STAINLESS STEEL FRAME - 24" FROM WINDOW LINE
- 74.6" X 42" ACTIVE SCREEN AREA
- 22 SQFT

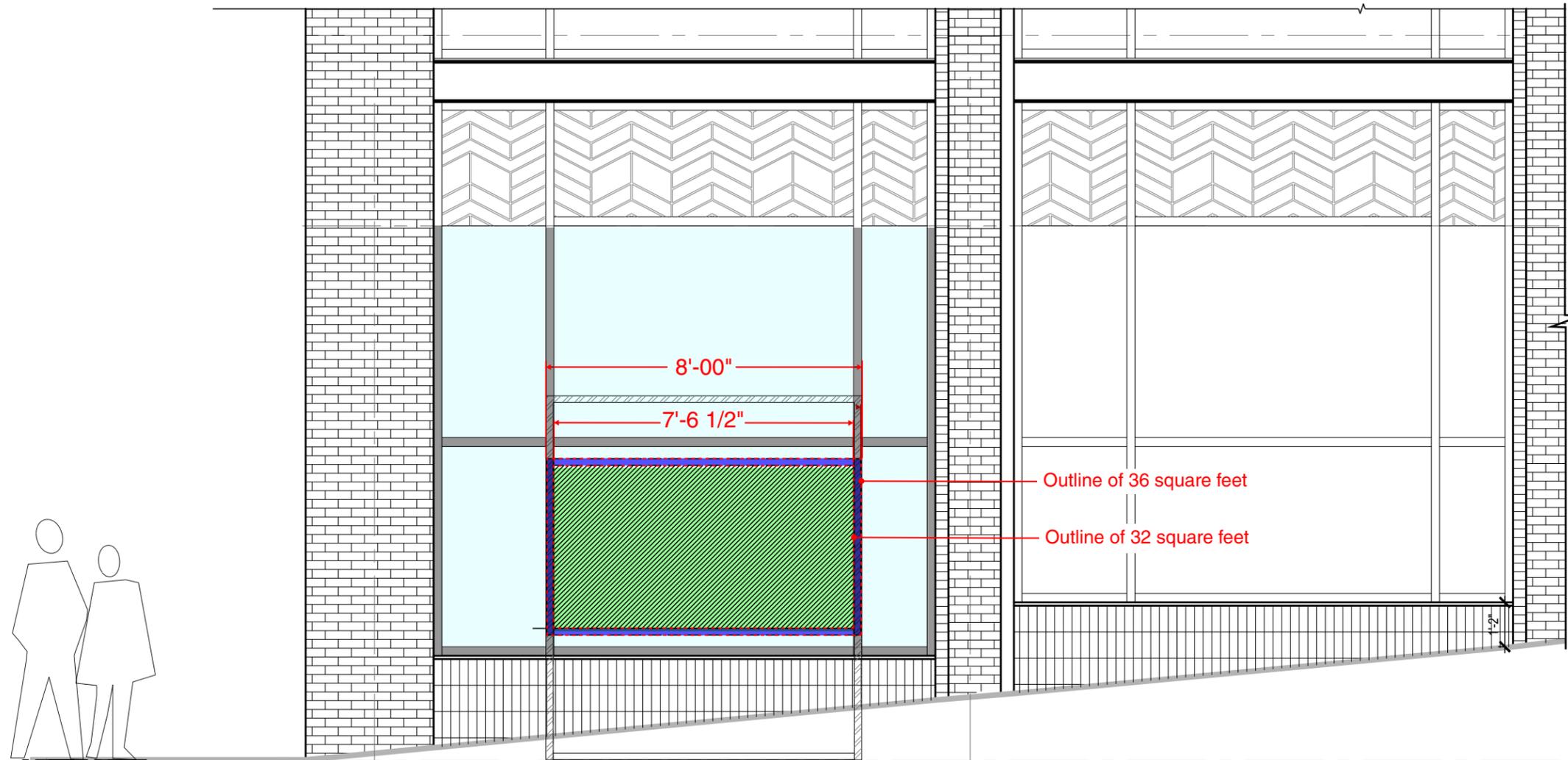
ELM STREET ELEVATION



- C** ■ INTERIOR PIN MOUNTED BACK LIT SIGNAGE ON SOFFIT
- 7'-6" X 1'-9" = 13.25 SQFT
- E** ■ 98" INTERIOR MONITOR WITH BLUE GLASS AND STAINLESS STEEL FRAME - 24" FROM WINDOW LINE
- 85" X 48" ACTIVE SCREEN AREA
- 32 SQFT

FAYETTE STREET ELEVATION

PROPOSED FAYETTE ELEVATION - STORE FRONT SIGNAGE

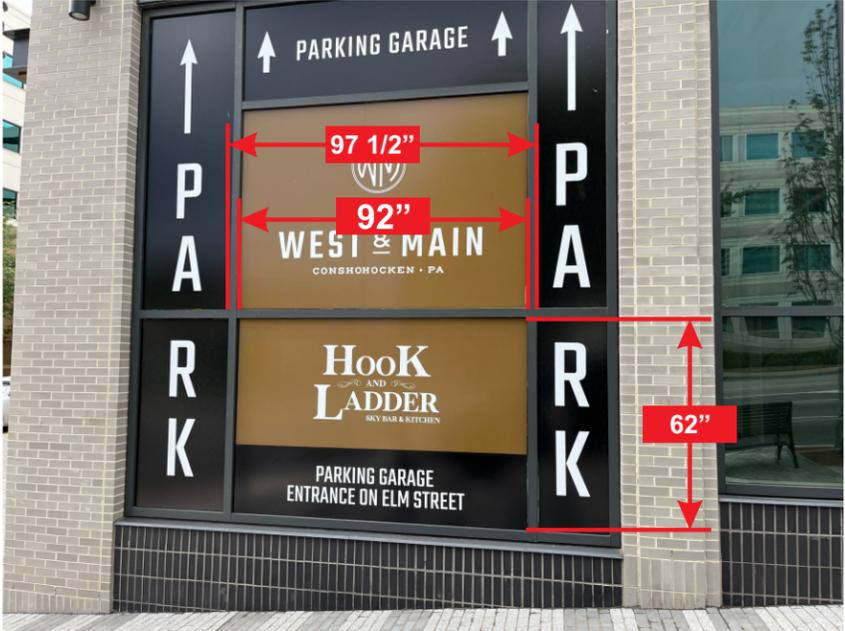


 **SIGNAGE APPROVED @ 32 SQUARE FEET**

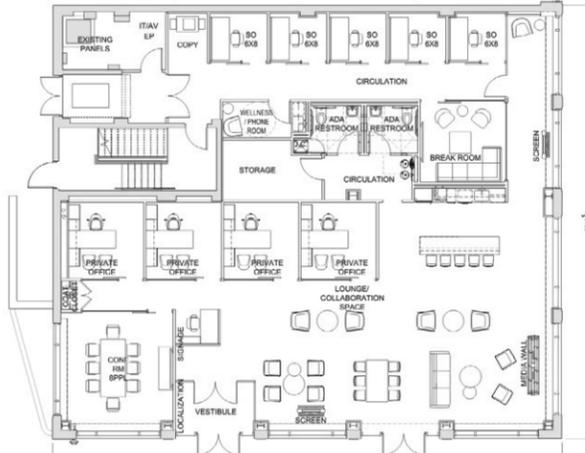
 **ADDITIONAL VIEWING AREA OF 1 3/4" AT TOP, BOTTOM, LEFT & RIGHT ENABLING A 36 SQUARE FOOT DIGITAL DISPLAY**

VIEW - STOREFRONT - FAYETTE STREET

E 98" INTERIOR MONITOR WITH BLUE GLASS AND STAINLESS STEEL FRAME - 24" FROM WINDOW LINE
- 36 SQFT



EXISTING LOCATION



KEY PLAN

June 15, 2023

Ross Weiss

Direct Phone 610-941-2361
Direct Fax 877-295-6883
rweiss@cozen.com

Brittany Rogers
Borough of Conshohocken
400 Fayette Street
Conshohocken, PA 19428

Allison Lee
Zoning Officer
Borough of Conshohocken
400 Fayette Street
Conshohocken, PA 19428

**Re: Mutual of America Life Insurance Company ("MOA")
Application to the Zoning Hearing Board for Zoning Relief for Signage**

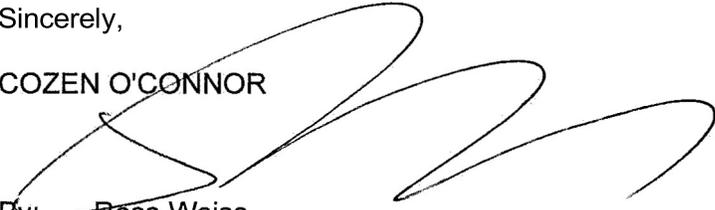
Dear Ms. Lee and Ms. Rogers:

Attached please find the above referenced Application with the Addendum and Exhibits referenced in the Addendum. Enclosed also find checks made payable to the Borough of Conshohocken for the Application fee (\$500) and for the escrow (\$1,500).

Please confirm completeness of the Application and that we will be scheduled to appear before the Zoning Hearing Board on Monday, July 17, 2023 at 7:00 p.m. at Borough Hall. Please also confirm that there is no need for us to appear before either the Planning Commission or Borough Council prior to the Zoning Hearing. Confirmation can be sent in an email to Jeff and me.

Sincerely,

COZEN O'CONNOR

By:  Ross Weiss

RW:ngd
Enclosure

cc: *via email*
Jeff Carson/City Sign
Jon Fox/TPG
Tom Ciociano/MOA

BEFORE THE ZONING HEARING BOARD OF CONSHOHOCKEN
IN RE: APPLICATION OF MUTUAL OF AMERICA LIFE INSURANCE COMPANY
REGARDING
46 FAYETEE STREET
APPLICATION NO. Z-2023-02
DECISION OF THE BOARD

I. HISTORY

On or about January 26, 2023, Mutual of America Life Insurance Company (the “Applicant” or “MOA”) filed a Zoning Hearing Board application before the Conshohocken Zoning Hearing Board (the “ZHB”) seeking variances from the Conshohocken Borough Zoning Ordinance of 2001 (together with all amendments thereto, the “Ordinance”) for the property located at 46 Fayette Street (“Subject Property”) to permit the installation of six (6) signs, three (3) of which would be animated (the “Application”).

The Applicant’s specific request for relief includes the following:

1. A variance from the terms of Section 27-2108.A and 27-2205.3 to permit the installation of three (3) signs fronting on Fayette Street and three (3) signs fronting on West Elm Street where a maximum of one (1) sign per street frontage is permitted.
2. A variance from the terms of Section 27-2105 to permit the installation of three (3) animated signs where such signs are prohibited.

After notice was duly given and advertised, a hearing was held on February 27, 2023. At the hearing, the following Exhibits were introduced and admitted:

- P-1 Application with an Addendum
- P-2 Aerial View of the Subject Property

- P-3 Deed
- P-4 Existing Signage Display
- P-5 Keystone Approval Signage
- P-6 Lease Agreement with Keystone
- P-7 Signage Designation dated December 20, 2022
- P-8 Zoning Notice
- A-1 Deed
- A-2 Redacted Lease
- A-3 Concord Keystone Sora West Owner, LLC Authorization Letter
- A-4 Aerial Plan
- A-5A Floor Plan
- A-5B Storefront Frontage
- A-5C Storefront West Elm Street
- A-5D Storefront Fayette Street
- A-6 Existing Signs on Building
- A-7A Prior Zoning Decision for 20 West Sixth Avenue
- A-7B Prior Zoning Decision for 46 Fayette Street
- A-7C Prior Zoning Decision for 2019 Fayette Street

II. FINDINGS OF FACT

1. The Subject Property is located at 46 Fayette Street, Conshohocken, Pennsylvania.
2. The Subject Property is zoned as SP-4 – Specially Planned District Four.
3. The Applicant has standing to proceed with the Application.

4. Jeff Carson, whom the ZHB accepted as an expert in signage, appeared on behalf of the Applicant and testified as follows:

- a. Mr. Carson owns the business known as City Sign Service.
- b. Mr. Carson designed the six (6) signs proposed in the Application.
- c. Mr. Carson described the area surrounding the Subject Property as a well-signed area.
- d. The first sign is four square feet, and is proposed to be affixed to a window of the Subject Property located on West Elm Street.
 - i. This sign is made of vinyl film and does not propose to be self-illuminated.
- e. The second sign is 6.75 square feet and is proposed to be located next to the first sign on West Elm Street.
 - i. This sign is “halo-lit,” meaning it is internally illuminated from behind aluminum lettering reflected off an aluminum backing.
- f. The third sign is 22 square feet and is proposed to be next to the door on the inside of the Subject Property.
 - i. This sign will be set back approximately two feet (2’) and will face West Elm Street.
 - ii. This sign is proposed to have an LCD animated screen, which will only display a rotation of static images.
- g. The fourth sign is 32 square feet and is proposed to be inside the Subject Property.

- i. This sign will be set back approximately two feet (2') from a window and face Fayette Street.
 - ii. This sign is double-faced and both sides will have an LCD animated screen.
 - iii. This is the only sign that will display videos or moving images.
- h. The fifth sign is 13.25 square feet and is proposed to be located behind a glass transom near the ceiling line within the Subject Property.
 - i. This sign is halo-lit.
- i. The sixth sign is 17 square feet and is proposed to be located within the Subject Property.
 - i. This sign will be set back approximately eighteen inches (18") from a window facing Fayette Street.
 - ii. This sign is proposed to have an LCD animated screen, which will only display a rotation of static images.
- j. The signs are expected to be turned off each night at 9:00 PM and not turned back on until 6:00 AM the following morning.
- k. Though the Subject Property houses the Applicant, the building has seven (7) floors and is generally known as the West & Main Hotel.
- l. Without sufficient identifying signage, unfamiliar customers can have significant difficulty in locating MOA.
- m. The difficulty in locating the MOA office is compounded by the heavy flow of traffic, the steep slope of the land upon which the Subject Property is built, and the lack of street parking in the area.

- n. More than one (1) sign per street frontage is necessary to remove the difficulty in locating MOA's office.
5. Thomas Ciociano appeared on behalf of the Applicant and testified as follows:
- a. Mr. Ciociano is the Senior Vice President for Real Estate of MOA.
 - b. The halo-lit signs are proposed to stay on overnight to "keep some street light on the streets."
 - c. The other illuminated signs will only be on during the hours specified by Mr. Carson.
 - d. Animated signs are a modern approach to providing passerbys with information about the businesses inside the Subject Property.
 - e. The animated signs will not be flashing, but instead will scroll through static images on a set loop, which will be on a thirty (30) second minimum rotation.
6. No additional party status was granted.
7. No members of the public spoke in support or opposition of the Application.

II. DISCUSSION

Section 27-2105 of the Ordinance states, in pertinent part:

- A. Prohibited Signs. The following types of signs or illumination of signs shall be prohibited in the Borough:
 - (1) Animated signs.

Section 27-2108 of the Ordinance states, in pertinent part:

- 27-2108 For any one lot located in the Commercial or Industrial Districts, the following number and types of signs are permitted:
- A. One freestanding business or identification sign per street frontage

Section 27-2205.3 of the Ordinance states, in pertinent part:

27-2205 Buildings in the SP-4 District shall have signage which meets the requirements set forth in § 27-2109, Signs Permitted in the Specially Planned Districts, except as set forth below for a unified development:

3. Each accessory first floor use is allowed one sign which meets the requirements set forth in § 27-2108, Signs Permitted in the Commercial and Industrial Districts.

In a request for a variance, the Board is guided by Section 910.2 of the Pennsylvania Municipalities Planning Code (hereinafter called "MPC"). An applicant for a variance has the burden of establishing that a literal enforcement of the provisions of the Ordinance will result in an unnecessary hardship as that term is defined by law, including court decisions, and that the allowance of the variance will not be contrary to the public interest. Section 910.2 of the MPC permits the Board to grant a variance where it is alleged that the provisions of the Ordinance inflict unnecessary hardship upon the applicant and when the Board can make certain prescribed findings where relevant in a given case.

III. CONCLUSIONS OF LAW

From the facts presented, it is the judgment of the Board that Applicant shall be granted the requested variances, in part. Accordingly, the Board is able to make the following relevant findings under Section 910.2 of the MPC:

1. That there are unique physical circumstances or conditions, including irregularity, narrowness or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the property, and that the unnecessary hardship is due to such condition, and not the circumstances or conditions generally created by the provisions of the Ordinance in the neighborhood or district in which the property is located;

2. That because of such physical circumstances or conditions there is no possibility that the property can be developed in strict conformity with the provisions of the Ordinance and that the authorization for a variance is therefore necessary to enable the reasonable use of the Subject Property;
3. That the approved variances will not alter the essential character of the neighborhood or district in which the Subject Property is located, nor substantially or permanently impair the appropriate use or development of the adjacent property, or be detrimental to the public welfare;
4. That the unnecessary hardship has not been created by the Applicant;
5. That the approved variances represent the minimum that will afford relief and represent the least modification possible; and
6. While the Applicant has shown that a strict application of the Ordinance would cause an unnecessary hardship, the Applicant has not sufficiently met its burden to justify three (3) signs on Fayette Street under the applicable criteria.

ORDER

AND NOW, this ___ day of April, 2023, the Application of SORA West OU Owner, LLC, seeking variances from the terms of Sections 27-2105, 27-2108.A and 27-2205.3 of the Conshohocken Borough Zoning Ordinance of 2001, is **GRANTED IN PART** and **DENIED IN PART**. The Applicant shall be permitted to install three (3) signs on West Elm Street and two (2) signs on Fayette Street in conformance with the plans, testimony, and other evidence presented to the Zoning Hearing Board subject to the following **CONDITIONS**:

1. With the exception of signs that are halo-lit, no sign shall be illuminated between the hours of 9:00 PM and 6:00 AM the following day;
2. No sign shall contain third party advertisement;
3. Only one (1) sign on Fayette street may be animated; and
4. The images on all animated signs shall not change more than once every thirty (30) seconds.

The Applicant is directed to apply to the Borough Zoning Officer to obtain any appropriate permits.

THE RELIEF GRANTED HEREIN SHALL EXPIRE IF THE APPLICANT FAILS TO OBTAIN PERMITS WITHIN ONE (1) YEAR OF THE DATE OF THIS DECISION.

CONSHOHOCKEN ZONING HEARING BOARD

Date Personally Delivered:

/s/ Richard Barton
Richard Barton, Chairman

/s/ Mark S. Danek
Mark S. Danek, Vice Chairman

/s/ Marlowe Doman
Marlowe Doman

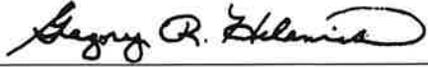
Or Date Emailed:

04/14/2023

/s/ Alan Chmielewski
Alan Chmielewski

/s/ Tyler Dunphy
Tyler Dunphy

I, Gregory R. Heleniak, the Solicitor of the Borough of Conshohocken Zoning Hearing Board, hereby certify that each member of said Board has read and approved this written opinion, which accurately reflects the actions and vote by said Board at its February 27, 2023, hearing in this matter. Said Board members have consented to their signatures to be affixed to this Decision as above.

A handwritten signature in cursive script that reads "Gregory R. Heleniak". The signature is written in black ink and is positioned above a horizontal line.

Gregory R. Heleniak, Esquire