

May 14, 2020 Planning Commission Meeting

337 W 7th Ave Packet (page 2)

SEPTA Station Packet (41)

BOROUGH OF CONSHOHOCKEN
MONTGOMERY COUNTY, PENNSYLVANIA

APPLICATION FOR SUBDIVISION/ LAND DEVELOPMENT

To be completed by the Borough:

Submission Information:	
File Number: _____	File Date: _____
Project Title: _____	Date Complete: _____
Received By: _____	90 Day Date: _____

REQUIRED MATERIALS FOR ALL LAND DEVELOPMENT/SUBDIVISION APPLICATIONS

1. This form MUST be completed and submitted with the Borough's Land Development/Subdivision application.
2. A Land Development/Subdivision Application MUST include all of the items listed in the application checklist to be considered complete.

Incomplete applications will NOT be placed on a Planning Commission agenda. Incomplete applications will be returned to the applicant.
3. Complete applications must be received at least 38 DAYS (see schedule) prior to the Planning Commission meeting at which it will be heard.

It is highly encouraged to submit applications in a digital format.
4. One (1) digital copy plus seven (7) paper copies of the complete application are required if submitting digitally, or fifteen (15) paper copies of the complete application are required.

Applicant Information:

Name: DAVID J. BROSSO
Address: 1125 ROBIN ROAD
GLADWYNE, PA 19035
Phone: 610-310-5055
Fax: (None)
E-Mail*: djbprop@gmail.com

Property Owner Information (if different):

Name: DJB PROPERTIES, LLC
Address: 1125 ROBIN ROAD
GLADWYNE, PA 19035
Phone: 610-310-5055
Fax: -
E-Mail*: djbprop@gmail.com

Architect/Planner: Luce Architects
Address: 67 Bayberry Rd, Hatboro, PA 19040
E-mail*: contact@lucearchitects.com Phone/Fax: 215-674-5950

Engineer/Surveyor: JOSEPH M. ESTOCK, PE, PLS
Address: 355 S. HENDERSON ROAD, KING OF PRUSSIA, PA 19406
E-mail*: joe@josephmestock.com Phone/Fax: 610-265-3035 (P)
610-962-9855 (F)

Landscape Architect: NONE
Address: _____
E-mail*: _____ Phone/Fax: _____

Attorney: Craig Robert Lewis @ Kaplin Stewart
Address: 910 Harvest Drive, Suite 200, POBOX 3037, Blue Bell, PA 19422
E-mail*: rlewis@Kaplaw.com Phone/Fax: 610-260-6000

*All correspondence regarding this application from the Planning Commission and staff will be made via e-mail. All persons involved with this application should provide their e-mail addresses so that information including, but not limited to, meeting dates and plan reviews replaces revisions here, is distributed appropriately.

Application For: (See Section 22-305.A or the bottom of page 10 of the application packet for clarification)

- Minor Land Development
- Preliminary Major Land Development
- Final Major Land Development

- Minor Subdivision
- Preliminary Major Subdivision
- Final Major Subdivision

Project Information:

Location (Street Address): 331 WEST SEVENTH AVENUE

Tax Assessment Parcel No. 09-00-08280-00-4 County Deed Book No. 6041 Page No. 1143

Description of Proposed Work: TO SUBDIVIDE THE EXISTING LOT INTO THREE (3) LOTS TO BE DEVELOPED AS THREE (3) RESIDENTIAL UNITS. ONE (1) SINGLE-FAMILY DETACHED DWELLING AND TWO (2) SINGLE-FAMILY SEMI-DETACHED (TWIN) DWELLINGS

Total Tract Acreage: 11,200 SF Project Acreage 11,200 SF

Zoning District BR-1 Existing Number of Lots: 1 Proposed Number of Lots: 3

Proposed Land Use: Single-Family Detached Single-Family Semi-Detached Multi-Family
 Single-Family Attached Commercial Office Industrial

Other (Describe): _____

Existing Sewer Flows: 1 edu Proposed Sewer Flows: 3 edu's

Check List - Plans:

The applicant must provide all of the following plans for an application to be considered complete. Section 22, Part 3 of the SALDO outlines plan submission requirements and the criteria that must be met in order for submissions to be deemed complete. These requirements are listed on information sheets provided at the end of this application package. If the required plans listed below do not have sufficient information to allow for staff reviews, the application may be considered incomplete and returned, requesting additional information.

- | | |
|---|---|
| <input checked="" type="checkbox"/> Record Plan | <input checked="" type="checkbox"/> Landscape Plan
(sealed by a Landscape Architect) |
| <input checked="" type="checkbox"/> Existing Features Site Plan | <input checked="" type="checkbox"/> Demolition Plan |
| <input checked="" type="checkbox"/> Grading Plan | <input checked="" type="checkbox"/> Detail Sheets |
| <input checked="" type="checkbox"/> Erosion and Sediment Control Plan | <u>N/A</u> Traffic Study (if applicable) |
| <u>N/A</u> Lighting Plan_Major | <input checked="" type="checkbox"/> Post Construction Stormwater Management Plan |
| <u>N/A</u> Circulation Plan_Major | <input checked="" type="checkbox"/> Utility Plan |
| <input checked="" type="checkbox"/> Stormwater Calculations | |

Check List - Proof of ownership and zoning relief:

- Proof of equitable ownership or interest in the property - copy of the deed to the subject property
- Copy of adjudication of Zoning Hearing Board related to the application

Check List - Color Photographs of Site and Existing Conditions:

- Streetscape in all directions, showing subject property in each
- Façade and secondary elevations of existing building(s) on site
- Sidewalk and curb conditions
- Street trees
- Alley conditions, if present

Check List - Building Elevations:

- Architectural drawings and renderings of proposed building(s)

Check List - Setback of Proposed Building(s):

- Established building line for the block on which the property is located (eg: scale off an aerial)
(In plan, show setbacks of all existing buildings on same side of the street as project for entire block.)

List of Requested Waivers:

Section/Requirement: NONE

Relief Requested: NONE

Have you met with the Zoning Officer regarding this plan? Yes No
 Are there known variances/any zoning relief necessary for this project? Yes No
 If YES, have you submitted an application for the Zoning Hearing Board? Yes No
 Has this plan been reviewed by the Zoning Hearing Board? Yes No

*Please be advised that if any variances are found to be necessary during the course of the review of this plan, you will be required to go to the Zoning Hearing Board prior to proceeding to the Planning Commission. In addition, you will be requested to grant the Borough a waiver to the 90-day action period or an immediate denial of this application will be made, and you will be required to resubmit the application.

The undersigned represents that to the best of his/her knowledge and belief, all the above statements are true, correct and complete.

[Signature] Signature of Applicant
2-13-2020 Date

[Signature] Signature of Property Owner (if not the same as applicant)
2-13-2020 Date

ALL MAJOR subdivision/land use applications require a pre-submission meeting to discuss the project prior to full application submittal.

MINOR subdivision/land use applications may request a pre-submission meeting; if one is desired.

Meetings are held the second and fourth Tuesday of each month beginning at 1:30pm at the Borough Administrative Offices.

Applicants assume responsibility of any fees associated with this meeting.

 Applicant signature date

To schedule a pre-submission meeting, please contact the office of the Borough Manager
 ph: 610.828.1092
 e: landuse@conshohockenpa.gov

Borough Use Only:

<input type="checkbox"/> Filing Fee	Amount \$ _____	Check No. _____
<input type="checkbox"/> Planning, Engineering and Legal Review Escrow	Amount \$ _____	Check No. _____

Decision Information:

Approval _____ Denial _____ Decision Date: _____

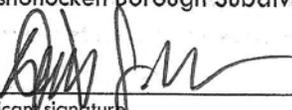
Comments/Conditions:

BOROUGH OF CONSHOHOCKEN
MONTGOMERY COUNTY, PENNSYLVANIA

Planning Process Extension Agreement

The Pennsylvania Municipality Planning Code (MPC) and the Conshohocken Borough Subdivision and Land Development Ordinance state that action must be taken by the Borough within ninety (90) days after a complete application is filed with the Borough. In the Borough, larger and complicated projects have historically required additional time in order to complete a thorough review before being considered for approval. As such, an applicant may voluntarily waive the timing requirement at any time, but is encouraged to submit this waiver with the completed application.

I, the applicant, hereby voluntarily waive the timing requirement as set forth in the MPC (Section 509) and the Conshohocken Borough Subdivision and Land Development Ordinance (Section 22-308).



Applicant signature

2/13/2020

Date

Received by (Borough)

Date

BOROUGH OF CONSHOHOCKEN
MONTGOMERY COUNTY, PENNSYLVANIA

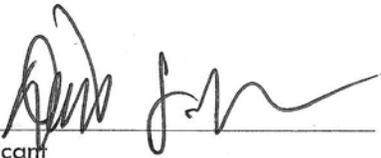
ESCROW AGREEMENT
FOR PROFESSIONAL REVIEW FEES

SUBDIVISION/LAND DEVELOPMENT APPLICATIONS

The undersigned hereby agrees to post an escrow to cover the costs of the review of subdivision and land development applications by the Borough Planner, Engineer, and Solicitor. The amount of said escrow shall be according to the attached "Schedule of Fees" and shall be posted at the time of initial submission of an application to the Borough. Said fees shall be placed in an escrow account and any balance remaining shall be returned to the applicant subsequent to the receipt of final approval.

The applicant is advised that the "Schedule of Fees" represents only an estimate of the costs associated with plan review. The completeness and quality of the submission, the complexity of the project, the number of revisions and other factors may cause costs to exceed the established escrow amounts. If during the course of a subdivision/land development review an escrow amount falls to 10% of the original escrow amount or \$250, whichever is greater, the Borough may require the posting of additional escrow.

NOTE: NO FINAL APPROVALS, CONSTRUCTION, BUILDING OR OCCUPANCY PERMITS SHALL BE ISSUED UNTIL ALL OUTSTANDING PROFESSIONAL REVIEW FEES HAVE BEEN SATISFIED.

Signed  Date: 2/13/2020
Applicant

BOROUGH OF CONSHOHOCKEN
MONTGOMERY COUNTY, PENNSYLVANIA

ALL PLANS SHOULD CONFORM TO THE FOLLOWING:

[Section 22-304.A]

1. Plan is clearly and legibly drawn.
2. Plan scale does not exceed one (1) inch equals fifty (50) feet (sites >5 Acres may be drawn 1:100).
3. Dimensions are in feet and decimals and bearings in degrees, minutes and seconds.
4. Sheet size shall be 15" x 18", 18" x 30", 24" X 36" or 30"x42".
5. A key map has been provided when there are two or more sheets.

[Section 22-304.B]

6. Name and address of the subdivider or developer and the registered engineer or surveyor.
7. Subdivision/development name, location in terms of significant bounding roads, and name of municipality.
8. The date of preparation (or revision) of the plan, scale and north point.
9. Entire tract boundary with bearings and distances and a statement of the tract size.
10. Layout and dimensions of all lots and the net lot area of each parcel.
11. Floor Area and/or gross leasable area of each existing/proposed building, as applicable.
12. A key map relating the subdivision to at least three (3) intersecting streets.
13. A legend sufficient to indicate clearly between existing and proposed conditions.
14. A schedule of all zoning requirements and classifications.
15. A list of all requested/obtained variances, waivers or special exceptions.

[Section 22-410.5]

16. Narrative/description of the project
17. All bodies of water
18. All physical features
19. All underground utilities
20. Proposed change to land surface and vegetative cover
21. Areas to be cut and filled
22. Stormwater management controls and maintenance program during construction
23. Stormwater management controls and maintenance program after construction
24. Easements
25. Expected project schedule

Address the following to determine which application to submit:

[Section 22-305.A]

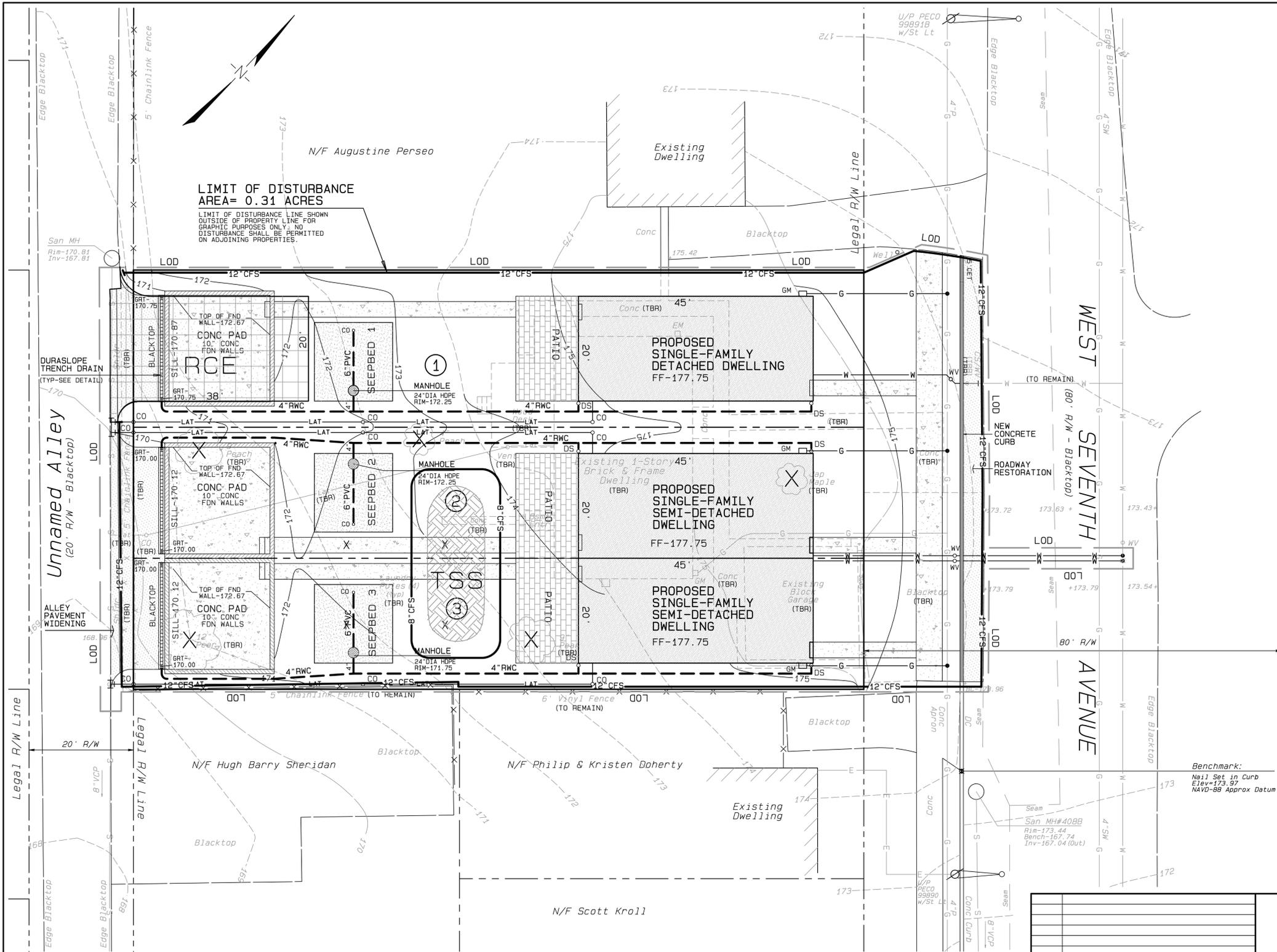
	Yes	No
1. There are X ^{NO MORE THAN} three (3) lots. ← AND/OR	X	—
M/A X There is only one residential building with less than five (5) dwelling units.	M/A	—
3. The property has not been part of a subdivision or land development submitted within the past three (3) years.	X	—
4. The property fronts on a physically improved street that is legally open to the public.	X	—
5. The project will not involve the construction of any new street or road, the extension of municipal facilities or the creation of any other public improvements.	X	—
6. The project will not require a variance(s) from the Borough Zoning Ordinance for no more than one of the proposed lots on which new construction will occur or may occur in the future.	X	—
7. The project is in general conformance with the Borough Master Plan and other plans.	X	—

If ALL responses were YES, please file a MINOR subdivision and/or land development application.
If ANY response was NO, please file a MAJOR subdivision and/or land development application.









LIMIT OF DISTURBANCE AREA = 0.31 ACRES
 LIMIT OF DISTURBANCE LINE SHOWN OUTSIDE OF PROPERTY LINE FOR GRAPHIC PURPOSES ONLY. NO DISTURBANCE SHALL BE PERMITTED ON ADJOINING PROPERTIES.

EROSION & SEDIMENT CONTROL LEGEND

- RCE ROCK CONSTRUCTION ENTRANCE
- IP INLET PROTECTION
- TSS TOPSOIL STOCKPILE
- FF18 FILTER FABRIC FENCE (18" HIGH)
- FF30 FILTER FABRIC FENCE (30" HIGH)
- SFFF SUPER FILTER FABRIC FENCE
- TPF TREE PROTECTION FENCE
- SAF SAFETY FENCE
- 12" CFS COMPOST FILTER SOCK
- CF CONSTRUCTION FENCE
- LOD LIMIT OF DISTURBANCE LINE

LEGEND

- CENTERLINE
- TRACT BOUNDARY
- PROPERTY LINE
- LEGAL R.O.W. - EASEMENTS
- REQUIRED R.O.W.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING WATER LINE
- EXISTING SAN. SEWER LINE
- EXISTING TELEPHONE LINE
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING STORM SEWER/INLET
- PROPOSED STORM SEWER/INLET
- PROPOSED WATER LINE
- PROPOSED SAN. SEWER LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- PROPOSED GAS LINE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING CURBLINE
- PROPOSED CURBLINE
- UTILITY POLE
- EXISTING VALVE, VENT, CO.
- SOIL TYPE
- PROPOSED BUILDING
- PROPOSED BLACKTOP DRIVEWAY
- PROPOSED CONCRETE PADS/WALKWAYS

SOILS LEGEND

THE ENTIRE SITE IS COMPRISED OF THE FOLLOWING SOIL TYPE:

UugB Urban Land-Udorthents
 Schist and Gneiss Complex
 0-8% Slopes
 Depth to Bedrock: 10-99 Inches
 Depth to Water Table: About 60 Inches

HYDROLOGIC SOIL GROUP: C

- CONSTRUCTION SEQUENCE/PROJECT SCHEDULE:**
1. THE APPLICANT MUST NOTIFY THE BOROUGH OF CONSHOHOCKEN AND THE CONSHOHOCKEN BOROUGH ENGINEER A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
 2. REMOVE BLACKTOP SHOULDER ALONG THE UNNAMED ALLEY. LEAVE THE STONE BASE COURSE BENEATH THE SHOULDER IN PLACE.
 3. INSTALL ALL COMPOST FILTER SOCK AROUND THE PERIMETER OF THE SITE. DO NOT INSTALL THAT COMPOST FILTER SOCK AROUND THE TOPSOIL STOCKPILE.
 4. INSTALL THE ROCK CONSTRUCTION ENTRANCE.
 5. CLEAR AND GRUB SITE OF EXISTING TREES AND OTHER VEGETATION.
 6. CAP ALL EXISTING UTILITY SERVICES.
 7. REMOVE EXISTING DWELLING, GARAGE, DECK, WALKWAYS AND OTHER EXISTING FEATURES CALLED TO BE REMOVED. PROPERLY DISPOSE.
 8. STRIP TOPSOIL AND STOCKPILE AT DESIGNATED LOCATIONS. PROTECT WITH COMPOST FILTER SOCK.
 9. COMMENCE WITH ALL BASEMENT EXCAVATIONS AND SUBSEQUENT BUILDING CONSTRUCTION. ALSO COMMENCE WITH CONSTRUCTION OF THE CONCRETE PARKING PADS ON LOTS 2 AND 3.
 10. UPON COMPLETION OF THE INSTALLATION OF THE BUILDING FOUNDATION WALLS AND THE CONCRETE PARKING PAD FOUNDATION WALLS ON LOTS 2 AND 3, ROUGH GRADE THE ENTIRE SITE TO SUBGRADE ELEVATIONS.
 11. INSTALL SANITARY SEWER LATERALS TO ALLEY.
 12. INSTALL ALL UTILITY SERVICE CONNECTIONS.
 13. INSTALL ALL RAINWATER CONDUCTORS LEADING UP TO THE SEEPAGE BED AREAS.
 14. FINISH GRADE AND TOPSOIL ALL DISTURBED AREAS; EXCEPT THOSE AREAS OVER THE SEEPAGE BEDS. RESERVE SMALL AMOUNT OF TOPSOIL FOR THE AREA OVER THE SEEPAGE BEDS.
 15. INSTALL THE SEEPAGE BEDS. MAKE FINAL RAINWATER CONDUCTOR CONNECTIONS, AND FINISH GRADE AND TOPSOIL.
 16. COMMENCE WITH CONSTRUCTION OF THE CONCRETE PARKING PAD ON LOT 1.
 17. EXTEND CONCRETE CURB ALONG THE WEST SEVENTH AVENUE PROPERTY FRONTAGE.
 18. CONSTRUCT THE DRIVEWAYS AND COMPLETE ALL PAVING OPERATIONS, EXCEPT FINAL WEARING COURSE.
 19. INSTALL ALL SIDEWALKS AND OTHER WALKWAYS.
 20. SEED AND MULCH ALL DISTURBED AREAS AND ESTABLISH PERMANENT VEGETATIVE COVER. DO NOT PROCEED TO THE NEXT ITEM IN THE SEQUENCE UNTIL PERMANENT STABILIZATION IS ACHIEVED.
 21. FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREA SHALL BE COVERED BY A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION.
 22. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
 23. PLACE WEARING COURSE IN ALL PAVED SURFACES.

DATE	REVISIONS	REVISION NO.

GRAPHIC SCALE 1" = 10'

0 10 20 30

UNDERGROUND UTILITIES
 PA. ACT 197 OF 1996-ONE CALL NOTIFICATION (1-800-242-1776)
 DATE: 08-14-2019 SERIAL NO.: 20192260985

ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITIES RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF INFORMATION IS NOT GUARANTEED. THE UTILITIES OR STRUCTURES IS NOT GUARANTEED NOR IS IT GUARANTEED THAT ALL EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXISTENCE OF UTILITIES AND FOR NOTIFYING THE UTILITY COMPANIES AT LEAST THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO VERIFY LOCATION AND DEPTH OF SAME.

PROJECT TITLE :
331 WEST SEVENTH AVENUE
 CONSHOHOCKEN BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA

DRAWING TITLE :
EROSION AND SEDIMENT CONTROL PLAN

PREPARED BY :
JOSEPH M. ESTOCK
 Consulting Engineers & Land Surveyors

SCALE 1" = 10'
DATE 29 JANUARY 2020
FILE NO. 17020
FIELD BOOK 334
SHT. NO. 3 of 8

Professional Seal: JOSEPH M. ESTOCK, Registered Professional Land Surveyor, No. 48525-E, State of Pennsylvania.

Contact Info: 355 South Henderson Road, King of Prussia, PA 19406-2407, (610) 265-3035 - Fax (610) 962-9855, joe@josephmestock.com

EROSION AND SEDIMENTATION CONTROL NOTES

A. GENERAL NOTES

- EROSION AND SEDIMENT BMP'S MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMP'S.
- STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS, MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY.
- VEHICLES AND EQUIPMENT MUST ENTER DIRECTLY TO AND EXIT FROM THE SITE AT THE POINT WHERE THE ROCK CONSTRUCTION ENTRANCE HAS BEEN PLACED.
- ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE CONTROLS FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE CONTROLS.
- AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.
- THE PROJECTS RECEIVING WATERCOURSE IS THE SCHUYLKILL RIVER WITHIN THE SCHUYLKILL RIVER WATERSHED, AND THE CHAPTER 93 CLASSIFICATION IS WNF, MF.

B. FILTER FABRIC FENCING & STRAW BALE BARRIERS

- FILTER FABRIC FENCING AND STRAW BALE BARRIERS MUST BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE OR BARRIER SECTION MUST EXTEND 8 FEET UP SLOPE AT 45 DEGREES TO THE ALIGNMENT OF THE MAIN FENCE OR BARRIER.
- SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/3 THE ABOVE GROUND HEIGHT OF FILTER FABRIC FENCING OR 1/3 THE ABOVE GROUND HEIGHT OF STRAW BALE BARRIERS.
- ANY FILTER FABRIC FENCING OR STRAW BALE BARRIER WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH ROCK FILTER OUTLETS.
- STRAW BALE BARRIERS SHOULD NOT BE USED FOR MORE THAN 3 MONTHS.

C. SEDIMENT REMOVAL

- SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT.
- ALL SILT AND FOREIGN MATTER SHALL BE REMOVED FROM THE TOP OF THE BINDER COURSE AND PROPERLY DISPOSED OF BEFORE WEARING SURFACE IS INSTALLED.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR GRAZING PASTURES AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES.

D. OPERATOR'S RESPONSIBILITY

- MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE OPERATOR DURING CONSTRUCTION.
- THE RETENTION/SEDIMENT BASIN WILL BE CONSTRUCTED AND MAINTAINED BY THE OPERATOR. THE MAINTENANCE OF THIS BASIN WILL BE TRANSFERRED TO THE PERMITTEE UPON THE COMPLETION OF FINAL STABILIZATION.
- THE OPERATOR IS RESPONSIBLE FOR PROVIDING DIVERSION TRENCHES, EROSION CHECKS, BERMS, ETC. OR OTHER MEANS OF ACCEPTED PRACTICE AS REQUIRED ON THE SITE TO PREVENT ACCELERATED RUNOFF AND EROSION, WHICH MAY NOT BE INDICATED, BUT IS WITHIN THE INTENT OF THIS PLAN.
- THE OPERATOR MUST INSURE THE PROPER OPERATION OF THE DEVICES IS NOT HINDERED DUE TO EXCESSIVE SEDIMENT BUILDUP OR UNAUTHORIZED ACTS OF THIRD PARTIES.
- SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE OR OF STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMMEDIATELY IMPLEMENTED BY THE OPERATOR TO ELIMINATE ALL SUCH PROBLEMS.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, MULCHING, AND RETENING MUST BE PERFORMED IMMEDIATELY IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED. REPLACEMENT BMP'S OR MODIFICATIONS TO THOSE INSTALLED WILL BE REQUIRED.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S CONSTRUCTION MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THIS SITE.
- IT IS THE INTENT OF THIS PLAN TO MEET REQUIREMENTS OF SOIL EROSION CONTROL.
- THE OPERATOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART I, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBCHAPTER C, PROTECTION OF NATURAL RESOURCES, ARTICLE II, WATER RESOURCES, CHAPTER 102 EROSION CONTROL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- AT ANY TIME PRIOR TO STABILIZATION SHOULD ANY E & S PROBLEMS OCCUR WHICH REQUIRE ADDITIONAL MEASURES, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEM.
- THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO BMP'S FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE BMP'S.
- AT STREAM CROSSINGS, 50 FOOT STREAM BANK BUFFER AREAS SHOULD BE MAINTAINED, ON BUFFERS, CLEARING, SOOT DISTURBANCES, EXCAVATION, AND EQUIPMENT TO BE MINIMIZED. ACTIVITIES SUCH AS STACKING CUT LOGS, BURNING CLEARED BRUSH, DISCHARGING RAINWATER FROM TRUCKS, WELDING PIPE SECTIONS, REWELDING AND MAINTAINING EQUIPMENT SHOULD BE ACCOMPLISHED OUTSIDE OF BUFFERS.

E. MULCHING

- MULCHING OF DISTURBED OR SEEDED AREA SHALL BE FURNISHED, PLACED, ANCHORED AND MAINTAINED IN ACCORDANCE WITH PENNDOT PUBL. 408, SECTION 805.
- MULCHING SHALL BE PLACED IMMEDIATELY AFTER SEEDING OR WITHIN 48 HOURS AFTER SEEDING IS COMPLETE.
- HAY OR STRAW SHALL BE UNIFORMLY PLACED IN A CONTINUOUS BLANKET, AT A MINIMUM RATE OF 3.0 TONS PER ACRE.
- MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS SHOULD BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER.
- STRAW MULCH SHOULD BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN

F. SEEDING

- SEEDING SHALL BE PLACED IN ACCORDANCE WITH PENNDOT PUBL. 408, SECTION 804.
- SEED FORMULAS:

FORMULA AND SPECIES	% BY PURITY	MTN. %	MTN. % GERMINATION	MAX. WEED	SEEDING RATE LBS./1000 SQ. YDS.
FORMULA B					21.0 TOTAL
* PERENNIAL RYEGRASS MIXTURE	30	98	99	0.15	4.0
* CREEPING RED FESCUE OR CHEWINGS FESCUE	50	98	95	0.15	11.0
* KENTUCKY BLUEGRASS MIXTURE	50	98	80	0.20	11.0
FORMULA C					9.0 TOTAL
* CROWNVEITCH	45	99	70	0.10	5.0
* ANNUAL RYEGRASS	55	98	90	0.15	4.0
FORMULA D					21.0 TOTAL
* TALL FESCUE	70	98	85	0.15	12.0
* CREEPING RED FESCUE OR CHEWINGS FESCUE	30	98	85	0.15	9.0
FORMULA E					10.0 TOTAL
* ANNUAL RYEGRASS	100	98	90	0.15	10.0
FORMULA F					24.0 TOTAL
* HARD FESCUE MIXTURE	55	98	85	0.15	13.0
* CREEPING RED FESCUE	35	98	85	0.15	8.5
* ANNUAL RYEGRASS	10	98	90	0.15	2.5
FORMULA G					10.5 TOTAL
* TALL FESCUE	70	98	85	0.15	5.5
* REDTOP TREFOIL MIXTURE	20	98	80*	0.10	2.0
* REDTOP	10	98	80*	0.15	1.0
- * MINIMUM 20% HARD SEED AND 60% NORMAL SPROUTS
- APPLICATION DATES:

FORMULA B, D, & L	DATE
	MARCH 15 TO JUNE 15
	AUGUST 1 TO OCTOBER 15
FORMULA C	RYEGRASS PORTION: MARCH 1 TO OCTOBER 15
	CROWNVEITCH PORTION: ANY TIME EXCEPT SEPTEMBER TO OCTOBER
FORMULA E	MARCH 15 TO OCTOBER 15
FORMULA W	APRIL 1 TO JUNE 15
	AUGUST 15 TO SEPTEMBER 15

4. SOIL SUPPLEMENTS MAY BE ADDED IN ACCORDANCE WITH SECTION 804 OR AS FOLLOWS:

- FERTILIZER - STANDARD QUALITY
 - 0-20-20 BASIC FERTILIZER 200 LBS. PER 1000 S.Y.
 - 10-10-10 STARTER FERTILIZER 100 LBS. PER 1000 S.Y.
- LIME - AGRICULTURAL LIMESTONE
 - 50% MINIMUM OF CARBONATES 500 LBS. PER 1000 S.Y.

5. FORMULA B SHALL BE USED TO ESTABLISH FINAL VEGETATION IN LAWN AREAS, FORMULA D SHALL BE USED TO ESTABLISH FINAL VEGETATION IN ROUGH AREAS, AND FORMULA E SHALL BE USED TO ESTABLISH TEMPORARY VEGETATION. FORMULAS C, L, AND W SHALL BE USED AS SPECIFICALLY INDICATED ON THE PLAN.

6. SEEDING AND MULCHING SCHEDULE

- THE DIVERSIONS, CHANNELS, SEDIMENT BASINS, SEDIMENT TRAPS, AND STOCKPILES, WHEN USED, MUST BE STABILIZED IMMEDIATELY.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES, DURING NON-GERMINATING PERIODS. MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

H. UTILITY LINE TRENCH EXCAVATION

1. CONSTRUCTION REQUIREMENTS

- LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF-CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT. PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED IN THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- SOILS EXCAVATED FROM EXISTING SURFACE LAYER SHOULD BE STOCKPILED SEPARATELY AND RETURNED AS FINAL SURFACE LAYER FOLLOWING TRENCH BACKFILLING.
- TRENCH PLUGS WILL BE SPACED IN ACCORDANCE WITH AND BE CONSTRUCTED OF THE MATERIALS AS INDICATED ON THE TRENCH PLUG DETAIL.

(1) AT ALL CROSSINGS OF WATERS OF THE COMMONWEALTH, TRENCH PLUGS WILL BE INSTALLED AT THE BANKS AFTER TRENCH EXCAVATION, THE PLUGS MAY BE TEMPORARILY REMOVED WHEN PLACING THE PIPE, BUT THEN REPLACED.

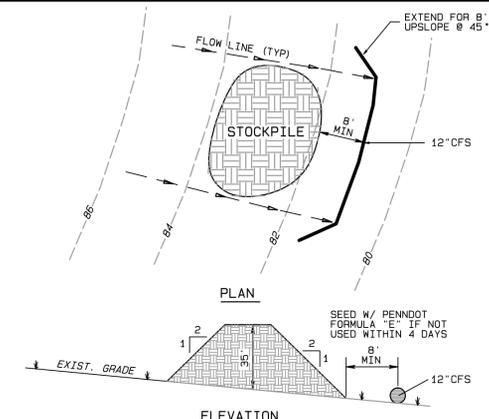
(2) CONSTRUCTION OF THE CROSSING WILL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE "PIPELINES AND UTILITY LINE PROJECTS" SECTION OF THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL.

2. EXCEPTIONS

- IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES INSTALLED. IN THESE CASES, ALL ACTIVITIES THAT ARE LISTED UNDER ITEM 1 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:
- DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
 - IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.

1. CLEAN FILL

- IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE CONTRACTOR.
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DRESSED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.
- CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-14 AND FP-18 FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
- ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.
- ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN AFFECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
- FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT www.pdcoc.com.



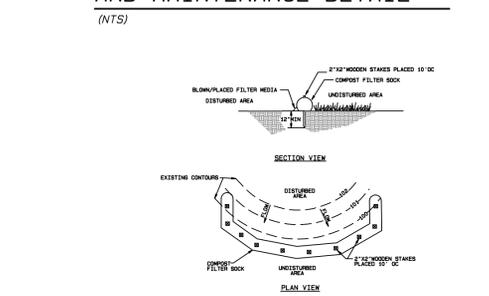
TEMPORARY SOIL STOCKPILE AND MAINTENANCE DETAIL

(NTS)

- INSTALL COMPOST FILTER SOCK DOWN-SLOPE OF AREA OF STOCKPILE.
- PLACE STOCKPILE IN AREAS SHOWN ON EROSION CONTROL PLAN WITHOUT BLOCKING NATURAL DRAINAGE PATTERNS.
- FOLLOW DIMENSIONS SHOWN ABOVE. HEIGHT SHOULD NOT EXCEED 35 FEET. SIDE SLOPES SHOULD NOT BE STEEPER THAN 2:1 (W) TO 1:1 (V).
- SEED IMMEDIATELY WITH PENNDOT SEED, 1/2" MAXIMUM DIAMETER, IS NOT USED WITHIN 4 DAYS. FOLLOW MULCHING AND SEEDING SPECIFICATIONS AND SCHEDULE.

COMPOST FILTER SOCK STANDARD CONSTRUCTION DETAIL #4-1

(NTS)



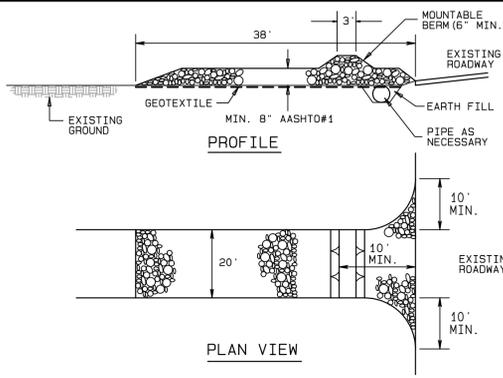
COMPOST FILTER SOCK STANDARD CONSTRUCTION DETAIL #4-1

(NTS)

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CONSHOHOCKEN BOROUGH EROSION AND SEDIMENT CONTROL NOTES

- FAILURE TO COMPLY WITH THE APPROVED E & S PLAN, AND THE DIRECTION OF THE BOROUGH OR THE BOROUGH'S AGENT SHALL RESULT IN AN IMMEDIATE STOPPAGE OF WORK.
- THE BOROUGH AND THE BOROUGH'S AGENT ARE DULY AUTHORIZED TO ENFORCE THE PROVISIONS OF THE BOROUGH'S OPDES ORDINANCE REGARDING CONSTRUCTION SITE RUNOFF.
- THE DEVELOPER WILL RECEIVE A "NOTICE OF VIOLATION" FROM THE BOROUGH'S AGENT SHOULD THE INSPECTOR DETERMINE THAT THE ON-SITE E & S CONTROLS ARE OUT OF COMPLIANCE. AT WHICH TIME THE DEVELOPER WILL HAVE THREE DAYS TO COMPLY WITH THE WRITTEN DIRECTIONS OF THE NOTICE. FAILURE TO COMPLY WITH THE WRITTEN DIRECTIONS OF THE NOTICE WILL RESULT IN AN IMMEDIATE WORK STOPPAGE AND FINES WILL BE ISSUED BY THE BOROUGH CODE DEPARTMENT.
- REPEAT OFFENSES WILL BE REPORTED TO THE COUNTY CONSERVATION DISTRICT AND THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE DEVELOPER SHALL BE RESPONSIBLE TO CHECK THE E & S CONTROLS AT THE END OF EACH WORK DAY TO ENSURE THAT THEY ARE IN PLACE. THE DEVELOPER SHALL ALSO BE RESPONSIBLE TO CHECK THE E & S CONTROLS PRIOR TO FORECASTED RAIN EVENTS.
- LAWN AREAS ARE TO BE A 3:1 SLOPE OR FLATTER. AREAS OF STEEP SLOPE NEED TO BE PROTECTED WITH NAGS75 OR BOROUGH APPROVED EQUAL.



STANDARD CONSTRUCTION DETAIL #3-1

(RCE)

- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

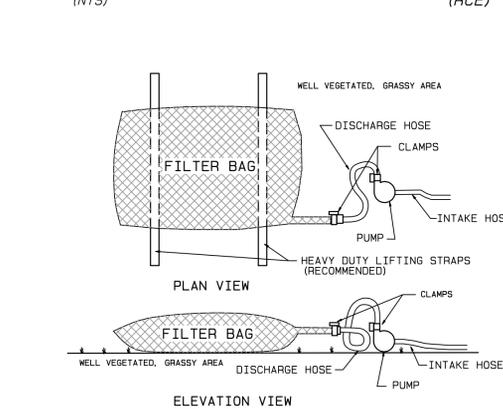
MAINTENANCE:

- ROCK CONSTRUCTION ENTRANCE THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL WILL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. ANY SEDIMENT LOCATED ON THE PUBLIC ROADWAY SHOULD BE REMOVED IMMEDIATELY AND RETURNED TO THE CONSTRUCTION SITE.

STANDARD CONSTRUCTION DETAIL #3-1

(RCE)

(NTS)



STANDARD CONSTRUCTION DETAIL #3-1P

(NTS)

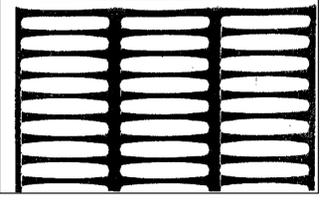
- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH-STRENGTH, DOUBLE-STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF WITHSTANDING A MINIMUM OF 150 POUNDS PER SQUARE FOOT OF FILL. BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILES THAT MEET THE STANDARDS LISTED IN THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL.
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL. UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREAS, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYER AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES GREATER THAN 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
- NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HD OR V WATERSHEDS. WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE, THE PUMP DISCHARGE HOSE SHALL BE INSERTED THROUGH THE BAG IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
- THE PUMPING RATE SHOULD BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.
- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

Specifications

Material:	High-Density Polyethylene
Aperture Size:	3/8 in. x 0.6 in.
Minimum Tensile:	
Strength:	2,000 lbs./ft. of width
Temperature Range:	-60°F to 150°F
Nominal Porosity:	55%
Ultraviolet Resistance:	Fully Stabilized

Ordering Information

Color	Roll Size	Ordering Code	Weight
Orange	4 ft. x 100 ft.	UX405016	33 lbs.
	4 ft. x 50 ft.	UX405014	17 lbs.
Black	4 ft. x 100 ft.	UX400016	33 lbs.
	4 ft. x 50 ft.	UX400014	17 lbs.



CONSTRUCTION FENCE

(NTS)

DATE: _____ REVISIONS: _____ REVISION NO. _____

PA. ACT 187 OF 1996-ONE CALL NOTIFICATION(1-800-242-1776) DATE: _____

UNDERGROUND UTILITIES

REGISTERED PROFESSIONAL ENGINEER
JOSEPH M. ESTOCK
PE037320E
PENNSYLVANIA

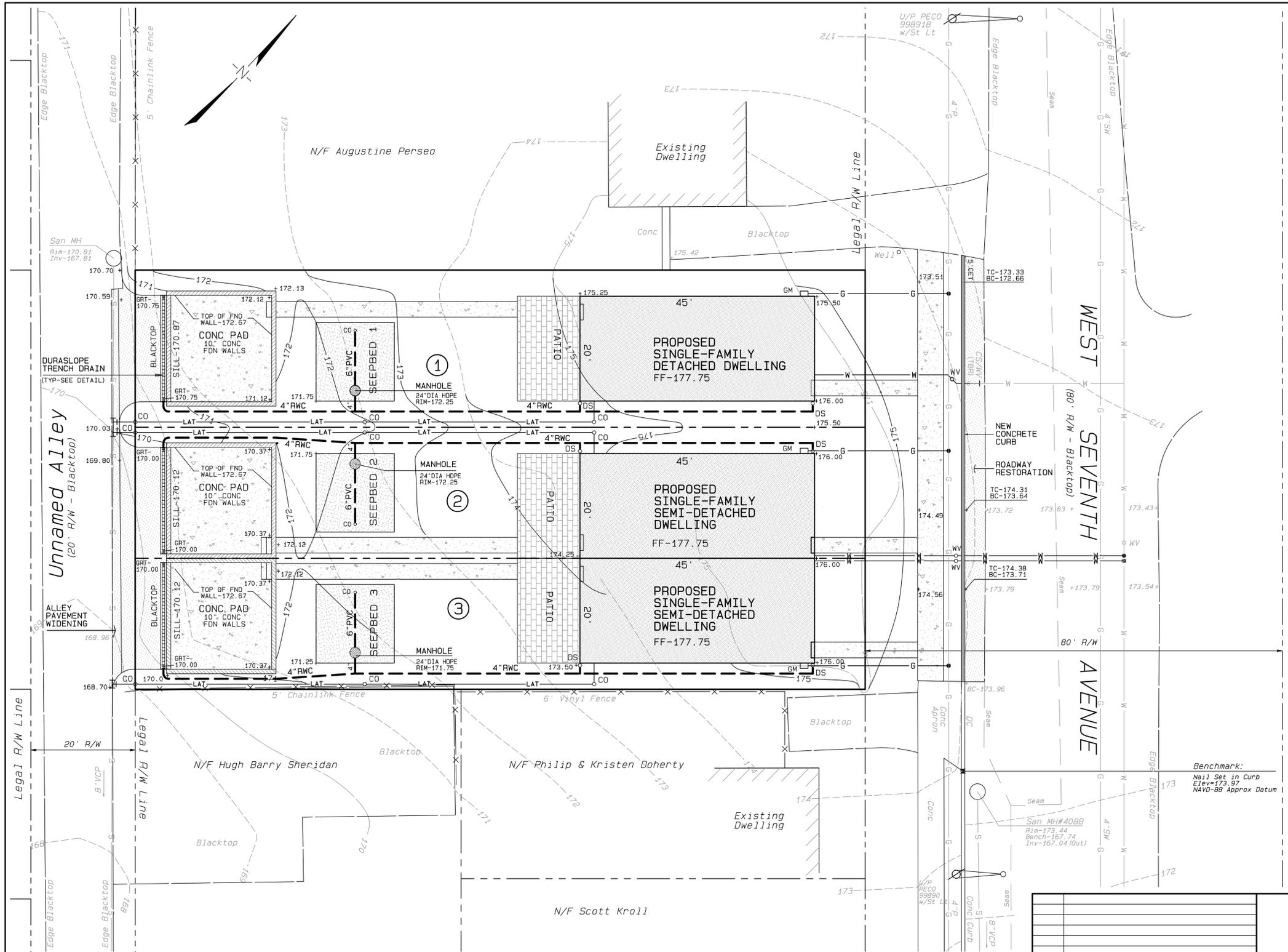
PROJECT TITLE :
331 WEST SEVENTH AVENUE
CONSHOHOCKEN BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA

DRAWING TITLE :
EROSION AND SEDIMENT CONTROL NARRATIVE AND DETAILS

PREPARED BY :
JOSEPH M. ESTOCK
Consulting Engineers & Land Surveyors

355 South Henderson Road
King of Prussia, PA 19406-2407
(610) 265-3035 - Fax (610) 962-9855
joe@josephmestock.com

SCALE: AS NOTED DATE: 29 JANUARY 2020 FILE NO.: 17020 FIELD BOOK: 334 SHT. NO.: 4 of 8



LIST OF UNDERGROUND UTILITY USERS:		LEGEND	
WATER:	AQUA PENNSYLVANIA, INC. 762 WEST LANCASTER AVENUE BRYN MAWR, PA 19010 (610) 645-4230	---	CENTERLINE
SANITARY SEWER:	BOROUGH OF CONSHOHOCKEN AUTHORITY 601 E ELM STREET CONSHOHOCKEN, PA 19428 (610) 828-0920	---	TRACT BOUNDARY
STORM SEWER:	BOROUGH OF CONSHOHOCKEN 400 FAYETTE STREET, SUITE 200 CONSHOHOCKEN, PA 19428 (610) 828-1092	---	PROPERTY LINE
GAS:	PECO ENERGY CO. 680 RIDGE PIKE PLYMOUTH MEETING, PA 19462-1945 (610) 941-1768	---	LEGAL R.O.W. EASEMENTS
ELECTRIC:	PECO ENERGY CO. 2301 MARKET STREET P.O. BOX 8699 PHILADELPHIA, PA 19101-8699 (215) 841-4000	---	REQUIRED R.O.W.
TELEPHONE:	VERIZON PENNSYLVANIA, INC. SUITE 401, BUILDING B WAYNE, PA 19087 (610) 964-6132	---	EXISTING CONTOUR
		---	PROPOSED CONTOUR
		---	EXISTING WATER LINE
		---	EXISTING SAN. SEWER LINE
		---	EXISTING TELEPHONE LINE
		---	EXISTING GAS LINE
		---	EXISTING ELECTRIC LINE
		---	EXISTING STORM SEWER/INLET
		---	PROPOSED STORM SEWER/INLET
		---	PROPOSED WATER LINE
		---	PROPOSED SAN. SEWER LINE
		---	PROPOSED TELEPHONE LINE
		---	PROPOSED ELECTRIC LINE
		---	PROPOSED GAS LINE
		---	EXISTING MANHOLE
		---	PROPOSED MANHOLE
		---	EXISTING CURBLINE
		---	PROPOSED CURBLINE
		---	UTILITY POLE
		---	EXISTING VALVE, VENT, CO.
		---	PROPOSED BUILDING
		---	PROPOSED BLACKTOP DRIVEWAY
		---	PROPOSED CONCRETE PADS/WALKWAYS

- CONSTRUCTION NOTES:**
1. SLUMP PUMPS FOR FOUNDATION DRAINAGE SHALL BE CONNECTED TO THE SEEPAGE BEDS.
 2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN CONFORMANCE WITH PADOT PUBLICATION 408, PADOT PUBLICATION 72 AND THE CONSHOHOCKEN BOROUGH AND THE CONSHOHOCKEN AUTHORITY STANDARD SPECIFICATIONS AND DETAILS.
 3. WATER DETAILS WILL BE REVIEWED BY AQUA PA. THE SERVICE BEYOND THE CURB STOP WILL REQUIRE INSPECTION BY THE BOROUGH PLUMBING INSPECTOR.
 4. SEWER DETAILS WILL BE REVIEWED BY THE BOROUGH OF CONSHOHOCKEN AUTHORITY. INSPECTION OF THE SEWER LATERAL BEYOND THE MAIN WILL BE PERFORMED BY THE BOROUGH PLUMBING INSPECTOR.
 5. ALL RAIN WATER CONDUCTORS TO BE PVC SCHEDULE 40 OR PVC-SDR-35 OR HIGH DENSITY POLYETHYLENE SMOOTH INTERIOR (HDPE-SI) HAVING A MINIMUM SLOPE OF 2%.
 6. ALL UTILITIES ARE TO BE UNDERGROUND.
 7. ALL CONSTRUCTION TRAFFIC SHALL ACCESS THE SITE FROM THE UNNAMED ALLEY FROM WOOD STREET.
 8. ALL ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
 9. BENCHMARK: NAIL SET IN CURB ALONG THE SOUTHWESTERLY SIDE OF WEST SEVENTH AVENUE AT THE SOUTHEASTERN END OF THE CONCRETE DRIVEWAY APRON ON THE SOUTHEASTERN ADJOINING PROPERTY. ELEV = 173.97 (NAVD=88 APPROX DATUM)
- SEEPAGE BED NOTES:**
1. THE MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER ON WHICH IT RESIDES. THE MAINTENANCE IS TO PREVENT CLOGGING OF THE OUTLET AND TO PREVENT STANDING WATER.
 2. AFTER THE DRAINAGE AREA TO THE FACILITY IS STABILIZED, INSPECTIONS SHOULD BE MADE MONTHLY, AND AFTER ANY LARGE STORM EVENT. THEREAFTER, ONCE THE FACILITY IS FUNCTIONING SATISFACTORILY AND WITHOUT POTENTIAL SEDIMENT OR DEBRIS ACCUMULATION PROBLEMS, INSPECTIONS MAY BE MADE ANNUALLY AND AFTER ANY LARGE STORM EVENTS. ACCUMULATED SEDIMENT OR DEBRIS SHOULD BE FLUSHED AND REMOVED FROM THE FACILITY.
 3. OUTLET STRUCTURES SHOULD BE CLEARED OF ALL DEBRIS PERIODICALLY AND AFTER ANY SIGNIFICANT RAINFALL EVENT WHERE AN INSPECTION REVEALS SIGNIFICANT BLOCKAGE.
 4. IF POSSIBLE, INSPECTIONS SHOULD BE MADE DURING WET WEATHER TO ENSURE THAT THE FACILITY IS MAINTAINING DESIRABLE RETENTION TIMES. IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS, DEFICIENCIES SHOULD BE NOTED DURING ANY VISIT BY MAINTENANCE PERSONNEL. AN IMPORTANT PURPOSE OF INSPECTIONS IS TO ASCERTAIN THE OPERATIONAL CONDITION AND SAFETY OF THE FACILITY, PARTICULARLY THE CONDITION STANDING WATER AND OTHER SAFETY RELATED ASPECTS. ANY DAMAGE OR BLOCKAGE TO THE OUTLET STRUCTURES SHOULD BE REPAIRED OR REMOVED IMMEDIATELY. ANY ERODED AREAS SHOULD BE TOPSOILED AND PERMANENTLY SEEDED AND MULCHED.
 5. ALL COLLECTED WASTES MUST BE HANDLED AND DISPOSED OF ACCORDING TO ALL STATE AND LOCAL ENVIRONMENTAL REQUIREMENTS.

STORMWATER MANAGEMENT CONTROLS MAINTENANCE PROGRAM OWNERSHIP, OPERATIONS AND MAINTENANCE PROCEDURES

I. OWNERSHIP

THE PROPERTY OWNER OF THE INDIVIDUAL LOT IS RESPONSIBLE FOR THE PERPETUAL OWNERSHIP, OPERATION AND MAINTENANCE OF ALL POST-CONSTRUCTION STORMWATER FACILITIES ON THEIR LOT.

THE PROPERTY OWNER SHALL HAVE THE RESPONSIBILITY FOR THE PERPETUAL MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT FACILITIES OR FINISH GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE BOROUGH. THE BOROUGH HAS THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM ANY REQUIRED MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED IN A TIMELY MANNER. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE BOROUGH. THE BOROUGH SHALL REIMBURSE THE PROPERTY FOR SAID COSTS UNTIL THE BOROUGH HAS BEEN REIMBURSED IN FULL.

IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT BMP REQUIRED BY AN APPROVED BMP OPERATIONS AND MAINTENANCE PLAN, OR TO ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED BMP OPERATIONS AND MAINTENANCE PLAN, UNLESS AN EXCEPTION IS GRANTED IN WRITING BY THE BOROUGH.

A DEED RESTRICTION PROHIBITING THE REMOVAL OR ALTERATION OF STORMWATER FACILITIES SHALL BE PROVIDED FOR ALL STORMWATER FACILITIES. THE DEED RESTRICTION SHALL ALLOW REMOVAL OR ALTERATION THAT IS APPROVED BY THE BOROUGH.

THE OWNER IS RESPONSIBLE IN THE EVENT THAT THE INFILTRATION BMPs FAIL TO INFILTRATE WITHIN 72 HOURS. IN THE EVENT THIS OCCURS, THE OWNER MUST ENGAGE THE SERVICES OF A P.E. TO EVALUATE THE REQUIRED MITIGATION MEASURES AND PROCEDURES.

II. STORMWATER MANAGEMENT EASEMENTS

A BLANKET ACCESS EASEMENT WILL BE PROVIDED FOR ACCESS FOR INSPECTION AND MAINTENANCE AND/OR PRESERVATION OF THE STORMWATER MANAGEMENT FACILITIES, INCLUDING, BUT NOT LIMITED TO, THE SEEPAGE BED AND THE RELATED STRUCTURES AND BMPs BY THE BOROUGH.

III. LONG-TERM BMP OPERATION & MAINTENANCE PROGRAM

THE POST-CONSTRUCTION STORMWATER MANAGEMENT CONTROLS/DEVICES AND OTHER BMPs MUST BE ADEQUATELY MAINTAINED BY THE PROPERTY OWNER AS OUTLINED ABOVE. IN PERPETUITY, THESE BMPs MUST FUNCTION IN A MANNER AS ORIGINALLY INTENDED BY THE APPROVED PLAN.

IV. LANDOWNER'S CERTIFICATION

THE STORMWATER MANAGEMENT FACILITIES AND BMPs ARE FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE BOROUGH.

DATE	REVISIONS	REVISION NO.

GRAPHIC SCALE 1" = 10'

0 10 20 30

UNDERGROUND UTILITIES
PA. ACT 197 OF 1996-ONE CALL NOTIFICATION (1-800-242-1776)
DATE: 08-14-2019 SERIAL NO.: 20192260985

ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITIES (2" RECORD AND/OR ABOVE GROUND EXAMINATION OF THE UTILITIES OR STRUCTURES IS NOT GUARANTEED NOR IS IT GUARANTEED THAT ALL EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXISTENCE OF UTILITIES AND FOR NOTIFYING THE UTILITY COMPANIES AT LEAST THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO VERIFY LOCATION AND DEPTH OF SAME.

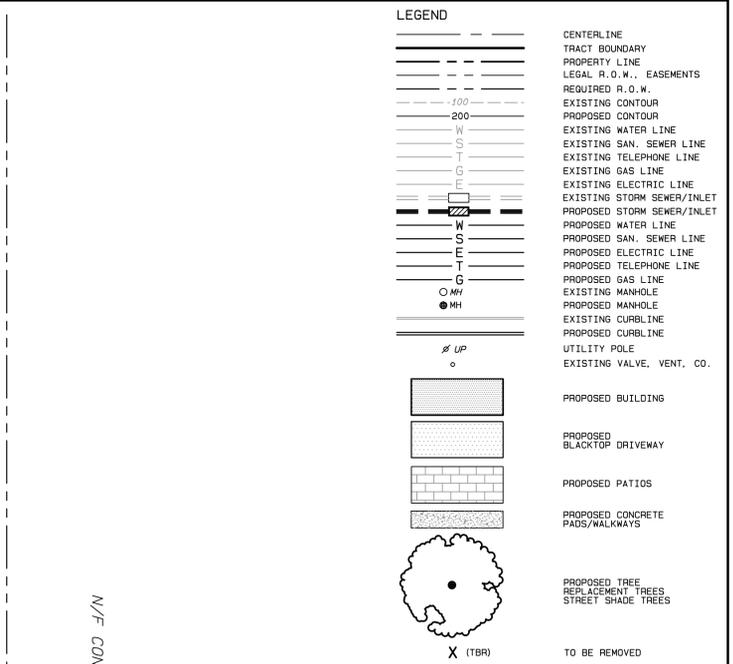
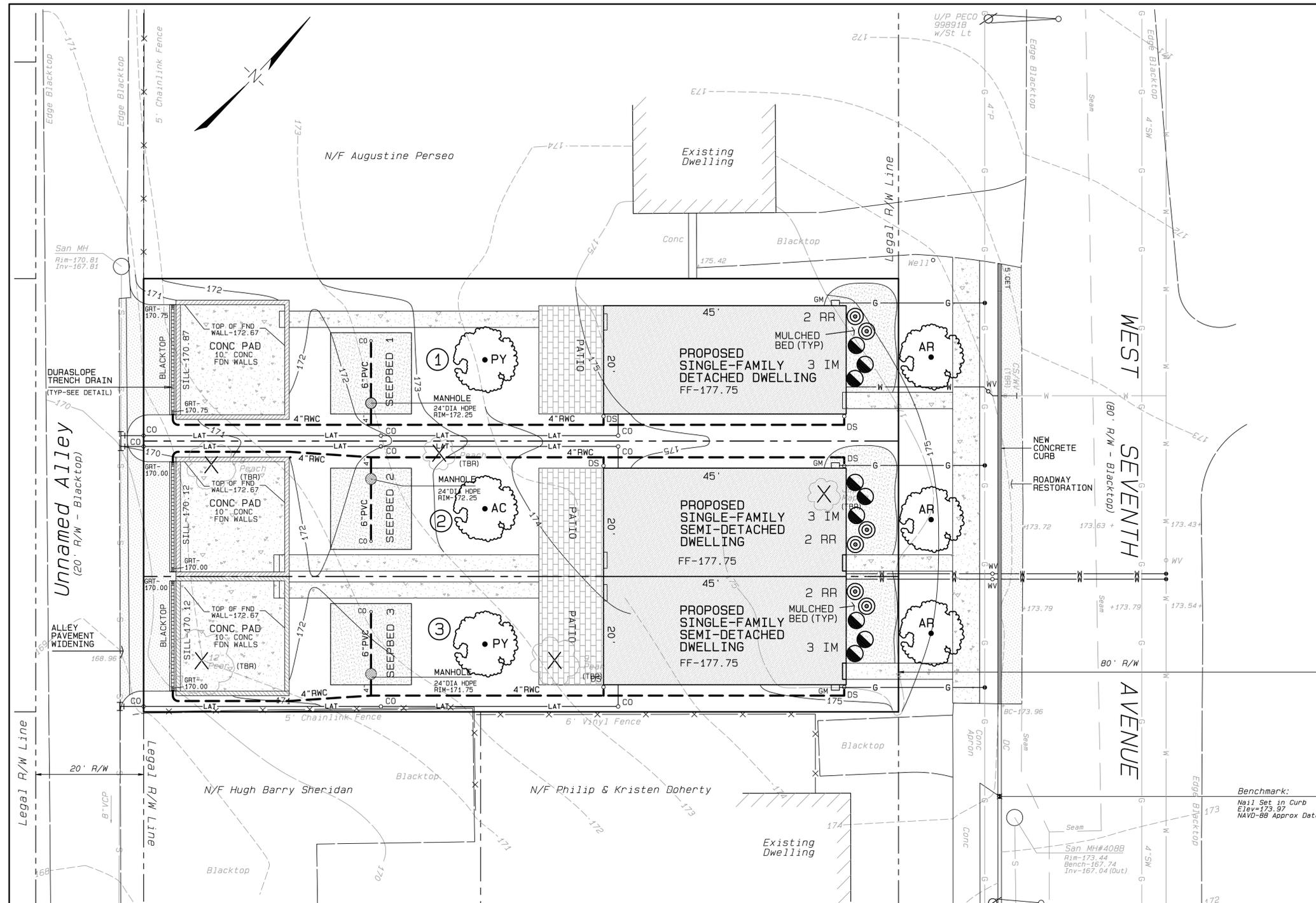
PROJECT TITLE :
331 WEST SEVENTH AVENUE
CONSHOHOCKEN BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA

DRAWING TITLE :
POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN

PREPARED BY :
JOSEPH M. ESTOCK
Consulting Engineers & Land Surveyors

355 South Henderson Road
King of Prussia, PA 19406-2407
(610) 265-3035 - Fax (610) 962-9825
joe@josephmestock.com

SCALE 1" = 10' DATE 29 JANUARY 2020 FILE NO. 17020 FIELD BOOK 334 SHT. NO. 5 of 8



CONSHOHOCKEN BOROUGH LANDSCAPE COMPLIANCE CHART
 § 22-420.2 TREE PRESERVATION
 A 3.5" CALIBER REPLACEMENT TREE IS REQUIRED FOR EACH TREE SIX (6) INCHES IN CALIBER OR GREATER WHICH IS REMOVED

EXISTING TREES REMOVED:	REQUIRED	PROVIDED
3	3 TREES	3 TREES

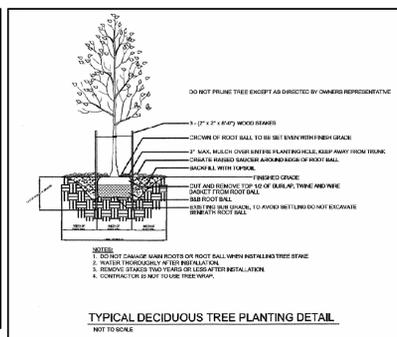
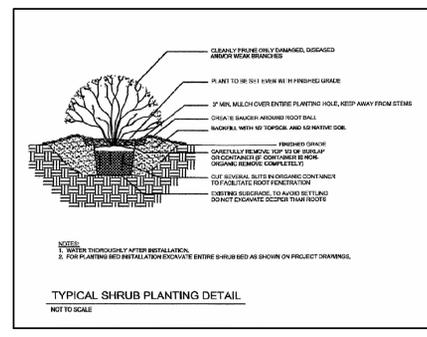
§ 22-421.4 STREET SHADE TREES
 TREES PLANTED NO MORE THAN 30 FEET APART

EXISTING TREES REMOVED:	REQUIRED	PROVIDED
2.7 TREES	2.7 TREES	3 TREES

PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	HGT.	SPREAD
AR	3	ACER RUBRUM	RED MAPLE	3.5"	14'-16'	8'-10'
AC	1	AMELANCHIER CANDENSIS	SERVICEBERRY	3.5"	10'-12'	8'-10'
PY	2	PRUNUS X YEDDENSIS	YOSHINO CHERRY	3.5"	10'-12'	8'-10'
IM	9	ILEX NERVESE	BLUE PRINCESS		2'-3'	
RR	6	ROSA RED DRAGON	KNOCK OUT ROSE			SIZE: 1 GAL CONTAINER

- LANDSCAPE GENERAL NOTES:**
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERYMAN'S ASSOCIATION.
 - ALL PLANT MATERIAL IS TO BE GUARANTEED FOR A MINIMUM OF TWO (2) GROWING SEASONS.
 - ALL STREET TREES TO BE PRUNED TO PROVIDE 12' CLEARANCE FROM THE GROUND.
 - ALL CANOPY TREES TO BE PRUNED TO HAVE A SPREAD EQUAL TO 50% OF THE HEIGHT.
 - ALL LAWN AREAS SHALL BE PLANTED WITH A BLUEGRASS SEED MIX. SEE SEEDING FORMULA.



REVISIONS

DATE	REVISIONS

GRAPHIC SCALE 1" = 10'
 0 10 20 30

UNDERGROUND UTILITIES
 PA. ACT 197 OF 1996-ONE CALL NOTIFICATION (1-800-242-1776)
 DATE: 08-14-2019 SERIAL NO.: 20192260985

REVISION NO.

JOSEPH M. ESTOCK
 ENGINEER
 PE037320E
 PENNSYLVANIA

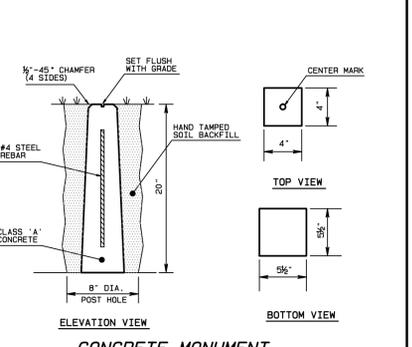
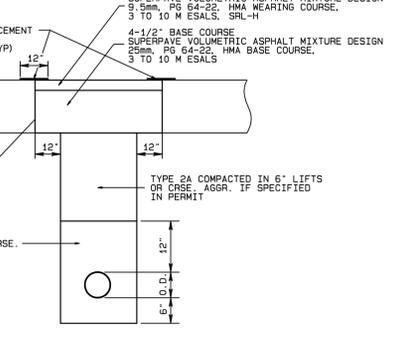
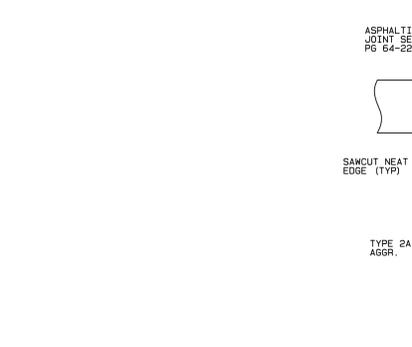
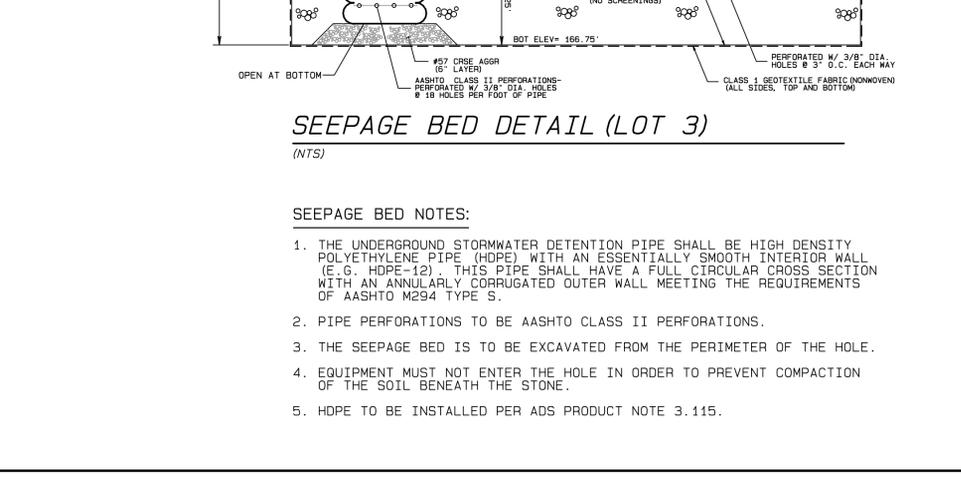
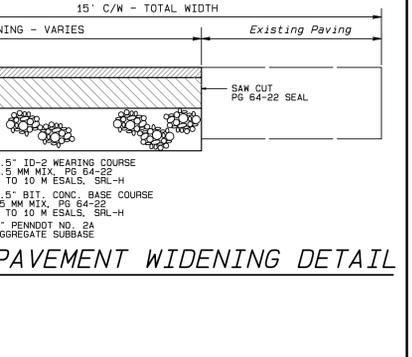
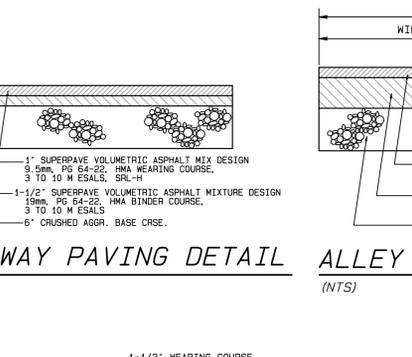
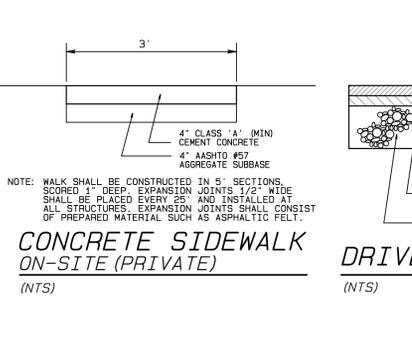
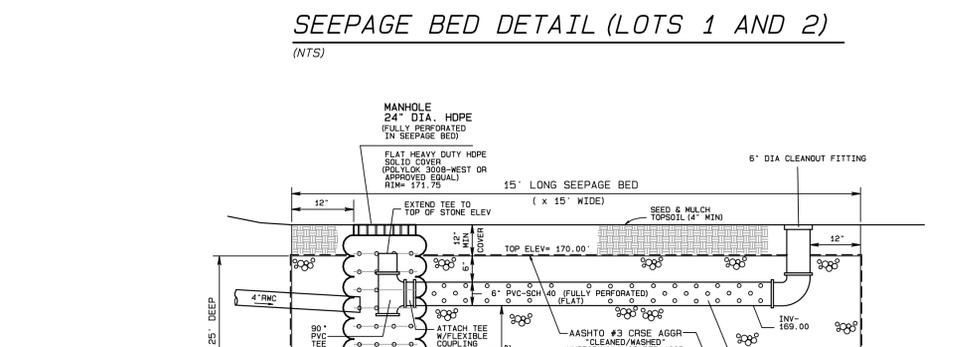
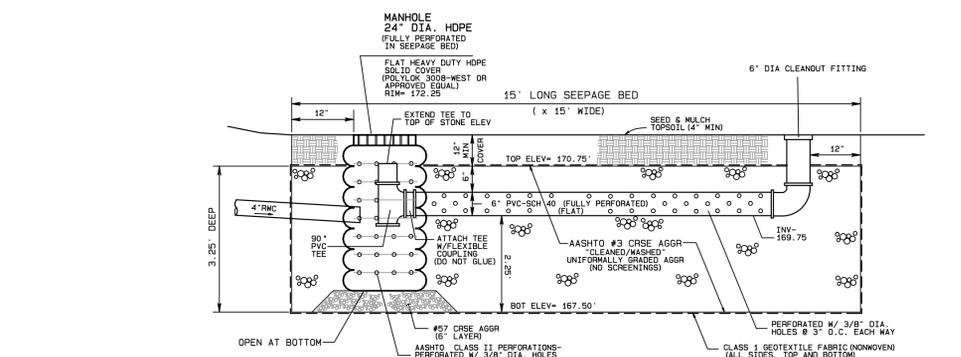
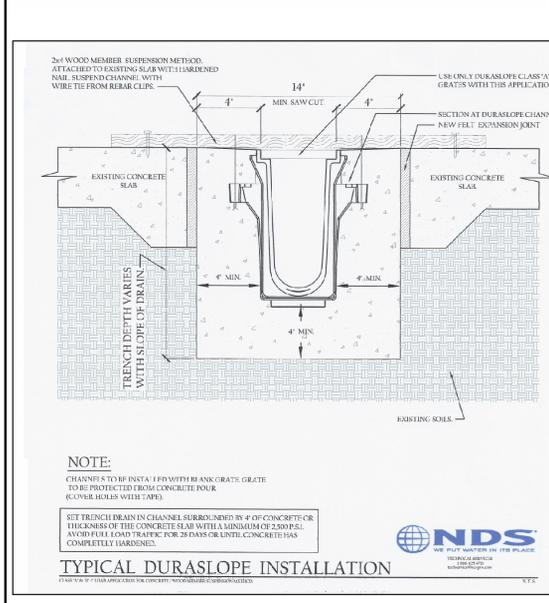
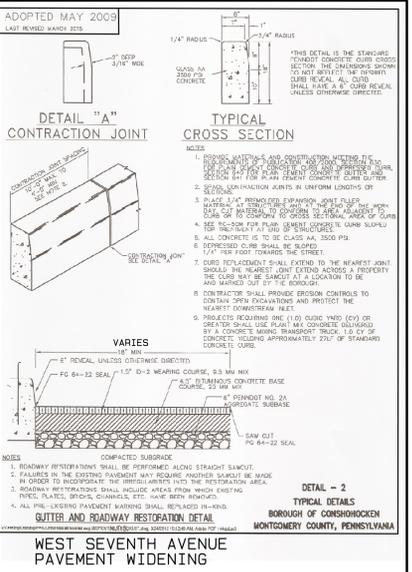
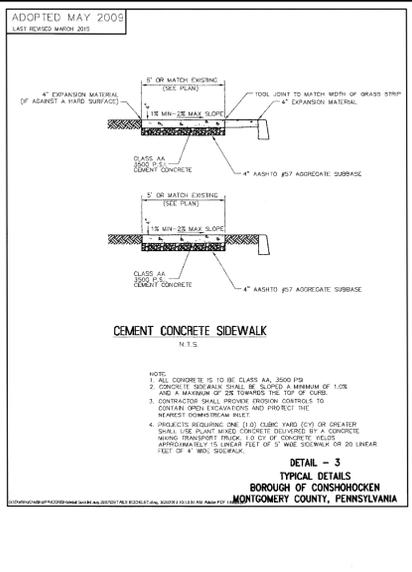
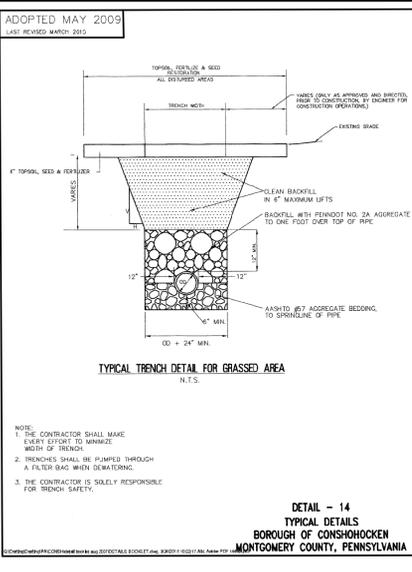
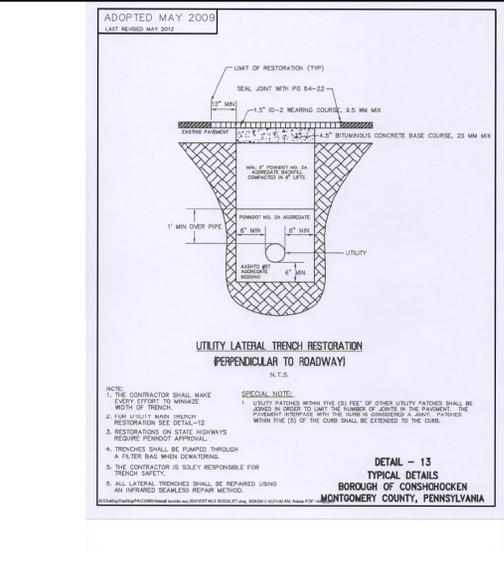
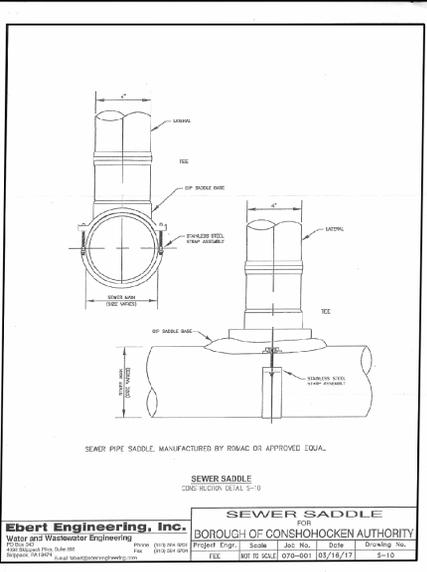
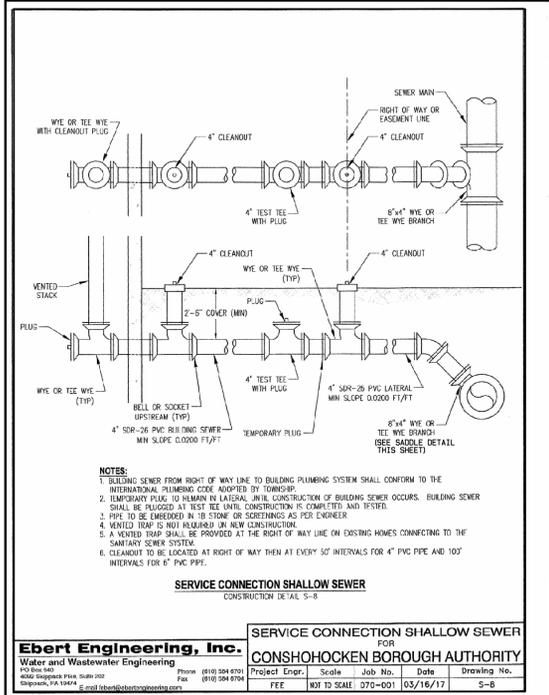
PROJECT TITLE :
331 WEST SEVENTH AVENUE
 CONSHOHOCKEN BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA

DRAWING TITLE :
LANDSCAPE PLAN

PREPARED BY :
JOSEPH M. ESTOCK
 Consulting Engineers & Land Surveyors

355 South Henderson Road
 King of Prussia, PA 19406-2407
 (610) 265-3035 - Fax (610) 962-9855
 joe@josephmestock.com

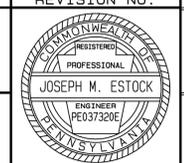
SCALE 1" = 10'
DATE 29 JANUARY 2020
FILE NO. 17020
FIELD BOOK 334
SHT. NO. 6 of 8



SEEPAGE BED NOTES:

1. THE UNDERGROUND STORMWATER DETENTION PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH AN ESSENTIALLY SMOOTH INTERIOR WALL (E.G. HDPE-12). THIS PIPE SHALL HAVE A FULL CIRCULAR CROSS SECTION WITH AN ANNULARLY CORRUGATED OUTER WALL MEETING THE REQUIREMENTS OF AASHTO M294 TYPE S.
2. PIPE PERFORATIONS TO BE AASHTO CLASS II PERFORATIONS.
3. THE SEEPAGE BED IS TO BE EXCAVATED FROM THE PERIMETER OF THE HOLE.
4. EQUIPMENT MUST NOT ENTER THE HOLE IN ORDER TO PREVENT COMPACTION OF THE SOIL BENEATH THE STONE.
5. HDPE TO BE INSTALLED PER ADS PRODUCT NOTE 3.115.

PROJECT TITLE :		331 WEST SEVENTH AVENUE	
CONSHOHOCKEN BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA		CONSHOHOCKEN BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA	
DRAWING TITLE :		CONSTRUCTION DETAILS	
PREPARED BY :		JOSEPH M. ESTOCK	
CONSULTING ENGINEERS & LAND SURVEYORS		355 South Henderson Road King of Prussia, PA 19406-2407 (610) 265-3035 - Fax (610) 962-9855 joe@josephmestock.com	
SCALE	DATE	FILE NO.	SHT. NO.
AS NOTED	29 JANUARY 2020	17020	334 7 of 8



UNDERGROUND UTILITIES
DATE: 08-14-2019 SERIAL NO.: 2019260985

SITE DESCRIPTION AND ANALYSIS

Project Description

This project consists of the construction of a single-family semi-detached dwelling (twin) and a single-family detached dwelling within the BR-1 – Residential zoning district. The property is located at 331 West Seventh Avenue in Conshohocken Borough, Montgomery County, Pennsylvania on 0.257 acres of land.

Existing Conditions

The current site consists of a residential dwelling, detached garage, and lawn. The site is bordered by West Seventh Avenue along the front and residential properties along the left and right, and an alley to the rear.

Soils

Soils information was obtained from the USDA NRCS Web Soil Survey conducted on October 6, 2017.

The site consists of Urban land-Udorthents, schist and gneiss complex, 0-8% slopes (UugB) on the entire site.

Hydrology & Chapter 93 Classification

Runoff from the site drains to the Schuylkill River, which has a Chapter 93 Designated Use of Warm Water Fishes (WWF) & Migratory Fishes (MF).

Utilities

All lots will be served by public sanitary sewer service and public water supply.

BEFORE THE ZONING HEARING BOARD OF CONSHOHOCKEN

IN RE: APPLICATION OF DJB PROPERTIES, LLC

REGARDING

331 WEST 7TH AVENUE

DECISION OF THE BOARD

I. HISTORY

On or about September 14, 2017, DJB Properties, LLC (hereinafter “Applicant”) filed the within Application seeking variances from the terms of Sections 27-1005 and 27-811 of the Conshohocken Borough Zoning Ordinance of 2001 (together with all amendments thereto, the “Zoning Ordinance”), seeking permission to construct semi-detached dwellings with a lot width of 30 feet, for the property located at 331 West 7th Avenue, Conshohocken, Pennsylvania (hereinafter called “Subject Property”). The Applicant is also seeking to construct garages that do not meet the accessory structure three foot setback requirement.

After notice was duly given and advertised, a hearing was held on said Appeal at Borough Hall on October 2, 2017 at 7:00 p.m.

At the hearing, the following Exhibits were introduced and admitted:

P-1 – Zoning Notice.

P-2 – Application.

P-3- Site Plan.

P-4 – Letter from Chris Stetler.

P-5 – Letter from Michael Savona, Esquire.

P-6 – Deed.

A-1 – Series of Pictures.

FINDINGS OF FACT

1. The Subject Property is located at 331 West 7th Avenue, Conshohocken, Pennsylvania in the Borough Residential 1 Zoning District.
2. The Subject Property is owned by DJB Properties, LLC, who is the Applicant.
3. The Applicant is represented by Mr. John Adam DiPietro, Esquire.
4. The Applicant is requesting variances from the terms of Sections 27-1005 and 27-811, seeking permission to construct semi-detached dwellings with a lot width of 30 feet. The Ordinance requires lot widths of 40 feet. Additionally, the Applicant is also seeking to construct demi-detached garages that do not meet the accessory structure three foot setback requirement.
5. The Applicant has owned the Subject Property since April 20, 2017.
6. The home on the Subject Property was constructed in 1987.
7. The Subject Property borders an unnamed alley to the rear.
8. The Applicant proposed to demolish the current structure and construct a single family home in addition to a set of twin homes, which will have garages in the rear.
9. The Applicant seeks two dimension variances. One of the dimensional variances is to allow the garages of the twin homes to be connected and centered on the property line.
10. The other dimensional variance is a reduction of the necessary lot width for the single family home.
11. Mr. DiPietro called the Applicant to testify. Mr. Brosso was sworn in and testified to the following:
 - a. He is the legal owner of DJB Properties, LLC.
 - b. Currently the Subject Property has a one story ranch home that was built in the 1980's. Said structure has a significant termite infestation.

- c. The Subject Property also has an accessory garage on site.
- d. He proposes to demolish the existing structures and construct one single family home and a set of twin homes.
- e. The homes would be three bedroom, two and a half bath, with a full basement. The homes would be constructed in the craftsman style.
- f. In reviewing the surrounding blocks along the Subject Property, most of the properties in the neighborhood had front frontages less than the zoning requirement. Most of the homes has front footages between 12 and 16 feet.
- g. Across from the Subject Property is the Borough's storage garage.
- h. Each of the proposed homes would have a two car garage, allowing for six off street parking spots.
- i. The proposed development is consistent with the neighborhood.
- j. Because the Subject Property is across from the Borough's storage garage, the Applicant spoke to realtors, who expressed concerns with selling a single family home across from said storage garage. However, the realtors believed that there would not be an issue with selling twins directly across from the storage garage. These conversations led the Applicant to come up with the proposed application rather than proposed to construct two single family dwellings.

12. The Applicant's Engineer, Mr. Joseph Estock, was present for the hearing. The Board did not have any questions for Mr. Estock.

13. There were no members of the public that had any questions or comments for the Applicant.

II. DISCUSSION

Section 27-1005 is titled "Permitted Use Dimensional Standards" and states the following are required within the Borough Residential One Zoning District:

"The following standards shall apply to all permitted uses in the BR-1 District.

A. The minimum lot size shall be 4,000 square feet for single-family detached dwellings and 2,800 square feet for single-family semidetached dwellings per individual dwelling unit.

B. The minimum lot width shall be 40 feet for single-family detached dwellings and 25 feet for single-family semidetached dwellings per individual unit.

C. The front yard setback shall be 25 feet, to be measured from the ultimate right-of-way line; except where there is an established building line, then the building line of the majority of the buildings on that side of the block shall be used.

D. The minimum rear yard setback shall be 25 feet.

E. The minimum side yard setback shall be five feet for each side; semidetached dwellings shall have a five-foot side yard setback for the side not sharing a common wall.

F. The maximum building coverage shall not exceed 35% of the lot area.

G. The maximum impervious coverage shall not exceed 60% of the lot area. A maximum of two permanent rear off-street parking spaces per single-family dwelling measuring nine feet by 18 feet may be excluded from the impervious coverage calculation. Such spaces will be subject to review by the Borough Engineer to determine that there are no adverse effect related to drainage and stormwater management. The cost of the engineering review will be born by the homeowner.

H. The highest elevation of any building shall be 35 feet. For buildings with flat roofs, building height is measured from grade to the top of the building wall, including the parapet. For buildings with pitched roofs, building height is measured from grade to the midpoint of the slope. The height excludes aerials, communication towers, or the like, as well as elevators, machine rooms, cooling towers, and their enclosing walls..”

Section 27-811 is titled “Accessory Uses” and states the following:

“The following accessory uses shall be permitted, subject to the additional requirements herein.

A. Uses Accessory to Dwellings.

(1) Private garage or carport, private parking space, barn, shelter for pets.

(2) Noncommercial swimming pool, either above or below ground, and equipment or other recreational facilities.

(3) Private greenhouse, garden shed.

(4) Home occupations as regulated by the Borough.

B. Setback Requirements. Accessory structures may be erected within the side or rear yard, not closer than three feet to the rear or side lot line unless the abutting owner or owners provide written consent to allow said structure to be built up to the side or rear lot line, and provide a maintenance easement of four feet in width to permit the owner of the accessory structure to maintain this structure. However, where an accessory structure is located on an alley, the side facing the alley shall be set back at least five feet from the edge of the cart way.

C. Size Limit for Accessory Buildings. Any freestanding building used for an accessory use (with the exception of agricultural buildings) shall not exceed 350 square feet in area or 15 feet in height if the structure has a peak roof or 10 feet in height if it has a flat roof. Special exceptions shall be subject to the following standards:

(1) Landscaping may be required to mitigate the visual impact of the building on neighboring properties.

(2) Compatibility of the building with the size and scale of surrounding buildings shall be considered.

D. Residential Utility and Storage Sheds.

(1) Legislative Intent: the intent of this Section is to regulate and control the construction of utility and storage sheds on residential properties and to specify the dimensions and construction standards of such structures. For the purposes of this Section, residential utility and storage sheds are lightweight, prefabricated structures placed on a lot without a permanent foundation, however, decking or flooring is permitted. Residential utility and storage sheds are intended to provide storage and utility space for domestic uses. Residential utility and storage sheds shall not be used as garages, animal shelters, places of business, home occupations, or residences.

(2) Building Permit: residential utility and storage sheds must conform to the requirements of this Section, and require a building permit. The Borough reserves the right to require the removal or relocation of a residential utility and storage shed that is found not to be in compliance with this Chapter or for some other reason is negatively affecting the health safety and welfare of Borough residents.

(3) Size: the maximum size of a residential utility and storage shed shall be 125 square feet.

(4) Height: the maximum height of a residential utility and storage shed shall be eight feet.

(5) Maximum Width: to ensure adequate emergency access to the rear of residences in the Borough, a residential utility and storage shed may be no wider than 1/2 of the lot width of the property on which it is located. In no cases shall a residential utility and storage shed be more than 14 feet in width.

(6) Siting and Location: residential utility and storage sheds may be located only to the rear of the principal building. Sheds must be setback a minimum of 10 feet from the rear elevation of any residence.

(7) Setbacks:

(a) Side Yard Setback: the minimum setback from a side property line shall be three feet.

(b) Rear Yard Setback: in the case where a property line adjoins an alley, the setback from the rear property line shall be five feet. In no case shall a residential utility and storage shed encroach into any alley or public right-of-way. Where the rear property line does not adjoin an alley, the setback shall be three feet.”

In a request for a variance, the Board is guided by Section 27-611 of the Ordinance and Section 910.2 of the Pennsylvania Municipalities Planning Code (hereinafter called “MPC”). An applicant for a variance has the burden of establishing that a literal enforcement of the provisions of the Ordinance will result in an unnecessary hardship as that term is defined by law, including court decisions, and that the allowance of the variance will not be contrary to the public interest. Section 27-611 of the Ordinance and Section 910.2 of the MPC permit the Board to grant a variance where it is alleged that the provisions of the Ordinance inflict unnecessary hardship upon the Appellant and when the Board can make certain prescribed findings where relevant in a given case.

As the testimony and evidence presented to the Board in this case have shown, the project appears to accommodate both a positive use of the Subject Property with minimal relief being requested.

As a result of all the above, the Application meets the requirements of “unnecessary hardship” required under the MPC. The Board, upon thorough and deliberate review of the

materials submitted and testimony offered, has determined that the proposed variances are appropriate in consideration of the unique characteristics of the Property. Furthermore, the requested variances will not adversely affect the public interest.

III. CONCLUSIONS OF LAW

From the facts presented, it is the judgment of the Board that Applicant shall be granted the requested variance. The Applicant has proven an unnecessary hardship unique or peculiar to the property and that the variances are not contrary to the public interest. Accordingly, the Board is able to make the following relevant findings under Section 910.2 of the MPC:

1. That there are unique physical circumstances or conditions, including irregularity, narrowness or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the property, and that the unnecessary hardship is due to such condition, and not the circumstances or conditions generally created by the provisions of the Ordinance in the neighborhood or district in which the property is located;

2. That because of such physical circumstances or conditions there is no possibility that the property can be developed in strict conformity with the provisions of the Ordinance and that the authorization for a variance is therefore necessary to enable the reasonable use of the Subject Property;

3. That the variance will not alter the essential character of the neighborhood or district in which the Subject property is located, nor substantially or permanently impair the appropriate use or development of the adjacent property, or be detrimental to the public welfare;

4. That the unnecessary hardship has not been created by the Appellant; and,

5. That the variance will represent the minimum variance that will afford relief and will represent the least modification possible under Section 27-611.

ORDER

AND NOW, this ____ day of _____, 2017, the Application of DJB Properties, LLC, LLC, seeking Variances from Section 27-1005 and 27-811, in order to construct semi-detached dwellings with a lot width of 30 feet; and construct attached garages that do not meet the accessory structure three foot setback requirement is hereby GRANTED.

The Appellants are directed to apply to the Borough Zoning Officer to obtain any appropriate permits.

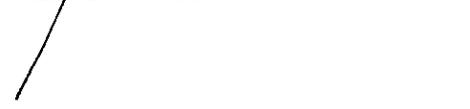
CONSHOHOCKEN ZONING HEARING BOARD


Richard D. Barton, Chairman


Russell Cardamone, Jr


Mark S. Danek


Janis B. Vacca


Gregory Scharff



March 23, 2020

File No. 20-02077

Stephanie Cecco, Borough Manager
Borough of Conshohocken
400 Fayette Street, Suite 200
Conshohocken, PA 19428

Reference: 331 West 7th Avenue – LD 2020-02
TMPs #05-00-08280-00-4
Minor Subdivision and Land Development

Dear Ms. Cecco:

Pursuant to the Borough's request, Gilmore & Associates, Inc. has reviewed the submission for Minor Subdivision and Land Development for the above-referenced project. Upon review we offer the following comments for consideration by the Conshohocken Borough Council:

I. Submission

- A. Plans, consisting of sheets 1 through 8 of 8, dated January 29, 2020, as prepared by Joseph M. Estock for 331 West 7th Avenue
- B. Post-Construction Stormwater Management Written Narrative, dated January 29, 2020, as prepared by Joseph M. Estock for 331 West 7th Avenue

II. Project Description

The subject property, Tax Map Parcel number 05-00-08280-00-4, is situated in the BR-1 Borough Residential One Zoning District on the southern side of West 7th Avenue between Wood Street and Freedley Street. The site is 11,200 square feet and currently contains a 1-story, 1,230 square foot footprint dwelling with a detached garage, rear deck, and walkways. All existing improvements are proposed to be removed as part of the land development.

The Applicant is proposing to subdivide the property into three lots of 4,200 square feet, 3,500 square feet, and 3,500 square feet, respectively. Lot 1 would contain a single-family detached dwelling and Lots 2 and 3 would contain single family semi-detached dwellings. Each lot would be improved with a 240 square foot rear patio and 462 square foot concrete pad for two parking spaces with access from the rear alley. To address stormwater management, each lot would contain a seepage bed. Public improvements include concrete curbing, sidewalk, and asphalt pavement restoration along the property frontage of West 7th Avenue. Additionally, the Applicant proposes to widen the rear alley from 13 feet to 15 feet along the property line. All lots would be served by public water and sewer.

III. Review Comments

A. Zoning Ordinance

We defer all comments with respect to the Conshohocken Borough Zoning Ordinance, including the Zoning Hearing Board Order, to the Borough's Zoning Officer.

B. Subdivision and Land Development Ordinance

We offer the following comments with respect to Borough of Conshohocken Subdivision and Land Development Ordinance:

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

1. §22-304.B.(8) – The zoning information and Variance Granted information provided on the Record Plan, Sheet 1, shall be revised to also indicate the variance granted related to the minimum accessory structure setback.
2. §22-305.B(1)(b) – The plans shall be revised to dimension the cartway width of West 7th Avenue.
3. §22-408.B – Since the existing features would extend across the proposed property lines, the plans shall be revised to indicate that all existing structures and utilities to be removed shall be removed prior to recording. This shall also include demolition related construction sequence, erosion and sediment controls, and information on the interim grading and cover conditions immediately after demolition (e.g. fill and seeded topsoil).
4. §22-409 – We offer the following comments with respect to the grading proposed on the Post-Construction Stormwater Management Plan, Sheet 5:
 - a. Additional spot elevations shall be added to the walkways, including along the site frontage, the rear walkways, and at the tie-ins to the existing driveways, and to confirm maximum two percent cross slopes are provided.
 - b. Top and bottom of curb elevations shall be added at the proposed taper and tie-in points, including at the existing depressed curb located south of the site.
5. §22-409.2 – A waiver would be required to permit proposed grading within the alley and roadway rights-of-way and within 3 feet of the exterior property lines, which we support to permit connection into existing grades.
6. §22-410.4.A – Pipe calculations shall be provided to confirm the roof leader collection system can handle the flows from the 100-year storm.
7. §22-410.4.L – We offer the following comments with respect to the proposed seepage bed designs:
 - a. Information shall be provided to indicate how the stored stormwater will discharge from the seepage beds. If infiltration is proposed, soil and infiltration testing results shall be provided to confirm the separation provided between the bottom of the beds and any limiting zones and the rates of infiltration in the soil layers in which infiltration would occur.
 - b. Freeboard shall be incorporated into the designs; an additional storage allowance of 0.06-acre inches shall be provided to compensate for sediment accumulation as required.
 - c. Cleanouts shall be proposed at all pipe bends and intersections within the roof leader system.
8. §22-410.6 - The deeds for the proposed lots shall incorporate a stormwater facility description and maintenance requirements in a form acceptable to the Borough Solicitor's office. Accordingly, the During Construction Controls information, included on page 4 of the Post-Construction Stormwater Management Written Narrative, shall be revised to indicate that the property owners will be responsible for the BMPs.
9. §22-412 – A note shall be added to the plans indicating that all proposed utilities shall be installed underground.
10. §22-417 – Information shall be provided on the Erosion and Sediment Control Plan, Sheet 3, to indicate how the seepage beds will be protected from sedimentation and compaction during the construction, such as orange construction fencing.
11. §22-419.3 – The Record Plan, Sheet 1, shall be revised to show the proposed iron pins.
12. §22-421.4 – A partial waiver would be required to permit the proposed street trees to be located within the West 7th Avenue right-of-way, instead of a minimum of 5 feet inside the lot lines, which we would support subject to the property owners agreeing to maintain the trees.

13. §22-804 – The Applicant is required to dedicate 10% of the total site area to the Borough for park and recreational use. Based on the limited site area, we recommend the Applicant coordinate with the Borough Solicitor regarding a fee in lieu of providing park and recreational facilities.

C. General Comments

We offer the following general comments:

1. The Applicant shall obtain all required approvals, permits, etc. (e.g. Fire Marshal, Conshohocken Borough Sewer Authority, MCPC, M CCD, PADEP, Aqua, etc.). Copies of these approvals and permits shall be submitted to the Borough of Conshohocken and our office.
2. A waiver request letter, including the hardship and minimum modification necessary for each requested waiver, shall be provided.
3. Legal descriptions for the proposed lots shall be provided to our office for review.
4. A note shall be added to the General Notes on the Record Plan, Sheet 1, stating any existing features damaged during construction shall be replaced by the Owner at no cost to the Borough.

If you have any questions regarding the above, please contact this office.

Sincerely,



Karen M. MacNair, P.E.
Borough Engineer
Gilmore & Associates, Inc.

KMM/ve/sl

cc: Brittany Rogers, Executive Assistant
Ray Sokolowski, Director of Public Services and Building Code Official
Michael E. Peters, Esq., Borough Solicitor

March 30, 2020

BCONS 20005

Stephanie Cecco, Borough Manager
Conshohocken Borough
400 Fayette Street, Suite 200
Conshohocken, PA 19428

**RE: Zoning Review
331 West 7th Avenue – Preliminary/Final Land Development Application**

Dear Ms. Cecco:

As requested, we reviewed the following in connection with the referenced project:

- *“Preliminary/Final Minor Subdivision and Land Development Plans,”* (8 sheets) prepared by Joseph M. Estock Consulting Engineers & Land Surveyors, dated January 29, 2020.
- *“Architectural Rendering,”* (1 sheet) prepared by Luce Architects, dated August 9, 2019.

The applicant, DJB Properties, LLC, proposes to demolish the existing single-family detached dwelling and garage on the subject property located in the BR-1 – *Borough Residential 1* Zoning District. The 11,200 square-foot (SF) parcel will be subdivided into one (1) 4,200 SF lot and two (2) 3,500 SF lots. The applicant proposes to construct a single-family detached dwelling and a set of single-family semi-detached dwellings on the new lots; along with curbing, sidewalk, patios, driveways, concrete parking pads, landscaping; and stormwater management. The property is served by public water and sanitary sewer.

The applicant was granted the following Variances by the Zoning Hearing Board on October 2, 2017:

- From §27-1005 - to allow for the construction of a single-family detached dwelling on a lot width of 30 feet.
- From §27-811 - to allow for the construction of attached garages that do not meet the accessory structure 3-foot setback requirement.

We offer the following comments:

1. The applicant was granted a Variance from §27-811.B to allow for the construction of an attached garage that does not meet the 3-foot setback requirement for accessory structures; however, this Variance is not included in the list of approved Variances on the provided Record Plan. Additionally, the plans propose 462 SF concrete parking pads with foundation walls in lieu of the parking garages the applicant presented to the Zoning Hearing Board. If a garage is proposed to be constructed on the concrete pad in the future, a Variance would be required for an accessory structure in excess of 350 SF. (§27-811.C) Furthermore, per §27-1007.2, doors to accessory structures shall face alleys where possible. If a garage is proposed in the future, the site should be configured to permit the doors to face the alley.

2. A Variance was granted to allow for the construction of an accessory structure within the 3-foot side yard setback; however, a 4-foot maintenance easement is to be provided per §27-811.B for the parking pads proposed on Lots 2 and 3.
3. No lighting of private property shall cause a hazard or nuisance to abutting roads and properties. (§27-821) The applicant is to clarify if any exterior lighting is proposed as part of this project; and if so, a lighting plan provided to confirm conformance with §27-821.E.
4. Parking calculations are to be provided on the record plan documenting a minimum of 2 off-street parking spaces are provided on each Lot. (§27-1008)
5. The existing building front yard setback calculation is to include the setbacks for the buildings at 333 and 335 W. 7th Ave in establishing the required front yard setback for the proposed dwellings. (§27-1005.C)
6. An architectural plan is provided for the proposed detached dwelling confirming the building height is compliant with §27-1005.H; however no plan has been provided for the proposed semi-detached dwelling confirming the building height.
7. The building setback lines are to be included on the plans for each proposed Lot.

If you have any questions or concerns, please feel free to contact the undersigned.

Sincerely,



Eric P. Johnson, PE
Zoning Officer
PENNONI ASSOCIATES INC.

EPJ/



3100 Horizon Drive
Suite 200
King of Prussia, PA 19406
T: 610-277-2402
F: 610-277-7449

www.pennoni.com

BCON20009

April 3, 2020

Stephanie Cecco
Borough Manager
Borough of Conshohocken
400 Fayette Street, Suite 200
Conshohocken, PA 19428

**RE: Traffic Engineering Review
331 W. 7th Avenue Residential**

Dear Ms. Cecco:

We have completed our review of the material submitted for the above referenced land development proposal. The submission consisted of a Preliminary/Final Land Development Plan, prepared by Joseph M. Estock Consulting Engineers & Land Surveyors, dated January 29, 2020. We offer the following comments for your consideration:

1. SLDO 27-824 - Traffic Impact Study – This section of the code requires a Traffic Impact Study (TIS) for all subdivisions of 30 or more dwelling units. A TIS is not required for this development.

If you have any questions or require additional information, please do not hesitate to contact me.

Very truly yours,

PENNONI ASSOCIATES INC.

Brian R. Keaveney, PE, PTOE
Transportation Division

cc: Ray Sokolowski, Executive Director of Operations
George Metz, Chief of Police
Timothy Gunning, Fire Chief and Fire Marshal
Karen MacNair, PE, Borough Engineer
Michael Peters, Esq., Borough Solicitor
Brittany Rogers, Administrative Assistant



BOROUGH OF CONSHOHOCKEN

Fire Marshal

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Robert Stokley, Senior Member
Anita Barton, Member
James Griffin, Member
Jane Flanagan, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: April 8, 2020

To: Stephanie Cecco, Borough Manager

From: Timothy Gunning, Fire Marshal

Re: Fire Marshal Review
337 West 7th Avenue
Prelim/Final Minor Subdivision and Land Development

As requested, the following materials submitted for the above referenced land development proposal were reviewed:

- Preliminary/Final Minor Subdivision and Land Development Plans, (8 sheets) prepared by Joseph M. Estock Consulting Engineers & Land Surveyors, dated January 29, 2020.

The applicant, DJB Properties, LLC, proposes to demolish the existing single-family detached dwelling and garage on the subject property, subdivide property into three (3) lots and construct a single-family detached dwelling and a set of single-family semi-detached dwellings on the new lots.

Upon review of the submitted plan, I have no comments.

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

VALERIE A. ARKOOSH, MD, MPH, CHAIR
KENNETH E. LAWRENCE, JR., VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG

JOHN S. COVER, AICP
INTERIM EXECUTIVE DIRECTOR

March 16, 2020

Stephanie Cecco, Borough Manager
Borough of Conshohocken
400 Fayette Street, Suite 200
Conshohocken, Pennsylvania 19428

RE: MCPC #20-0048-001
Plan Name: 331 7th Avenue
3 lots/ 3 dwelling units / 0.26 acres
Situate: 7th Avenue (south)/ Wood St (west)

Dear Ms. Cecco:

We have reviewed the above referenced subdivision/land development plan in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on February 24, 2020. We forward this letter as a report of our review.

BACKGROUND

The applicant, David Brosso, DJB Properties LLC, submitted a subdivision and land development plan seeking preliminary approval for the construction of three new dwelling units and the subdivision of a 0.257 acre parcel into three lots. The development plan shows the construction of two single-family semi-detached dwelling units (twins), and one single-family detached dwelling unit. The development site is at 331 West Seventh Avenue; access is also provided by an alley which lies in the rear yard, running from Wood Street and Freedley Street. The plan proposes the demolition of a contemporary, residential dwelling constructed in 1987 along with the removal of a detached garage and an existing paved area along the street frontage. The development is proposed for Tax Parcel #10-0003-30-0, which is within the BR-1 Residential Zoning District. The applicant received relief from the Conshohocken Borough Zoning Hearing Board for various terms of regulations of Sections 27-1005 and 27-811 of the Zoning Ordinance. The decision allows the applicant to construct garages which do not meet the required 3 ft. minimum setback regulation for an accessory structure.

CONSISTENCY WITH THE COUNTY & BOROUGH COMPREHENSIVE PLANS

The proposal is generally consistent with *Montco 2040: A Shared Vision*, the Montgomery County Comprehensive Plan. The county plan emphasizes several recommendations which are relevant to this proposal. The *Connected Communities* recommendation promotes the redevelopment and revitalization



of boroughs in the county to leverage the existing infrastructure with the creation of an active live-work environment, providing access to a walkable and transit-friendly environment. The development proposal is generally consistent with the recommendations of the Conshohocken Borough Comprehensive Plan Update 2018 and its goal of ensuring compatible infill redevelopment within the existing neighborhood fabric. We believe establishing the vehicular access along the alley with parking pads and garages behind the residential structures, rather than parking pads in front of the residences will restore an uninterrupted sidewalk along 7th Avenue. This will help create a more attractive and green streetscape and a safer pedestrian environment.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the subdivision and land development of the property as shown in the plan. We have identified one environmental issue which pertains to the need to protect the seepage bed soil area from compaction. The soil in the designated seepage bed area may become compromised without protection from construction activities and equipment. Our comment is as follows:

REVIEW COMMENT

I. SEEPAGE BED – PROTECTING THE SOIL

The site development includes the construction of three seepage beds, one each between the residential dwelling and the garage/parking pad area along the alley. We recommend the applicant ensure that the soils in and around the seepage bed are protected by exclusion fencing which would limit the impacts to the surrounding soil area and reduce the soil compaction caused by construction equipment and material storage. Ensuring the integrity of the soils in this area is essential to the effective functioning of the seepage beds.

CONCLUSION

The Montgomery County Planning Commission generally supports the subdivision and land development of the parcel into three new lots and residences. We recommend the borough address the issue discussed above to its satisfaction and ensure the proposed plan complies with your appropriate municipal land use regulations and other appropriate regulations prior to granting approval.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality. Please be aware that the MCPC #20-0048-001 has been set aside for the applicant' plan. If any subsequent plans are submitted for final recording, this MCPC number should appear on the applicant sheets within the plans in the box reserved for the seal of this agency.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Sincerely,

Barry W. Jeffries

Barry W Jeffries, ASLA, Senior Design Planner

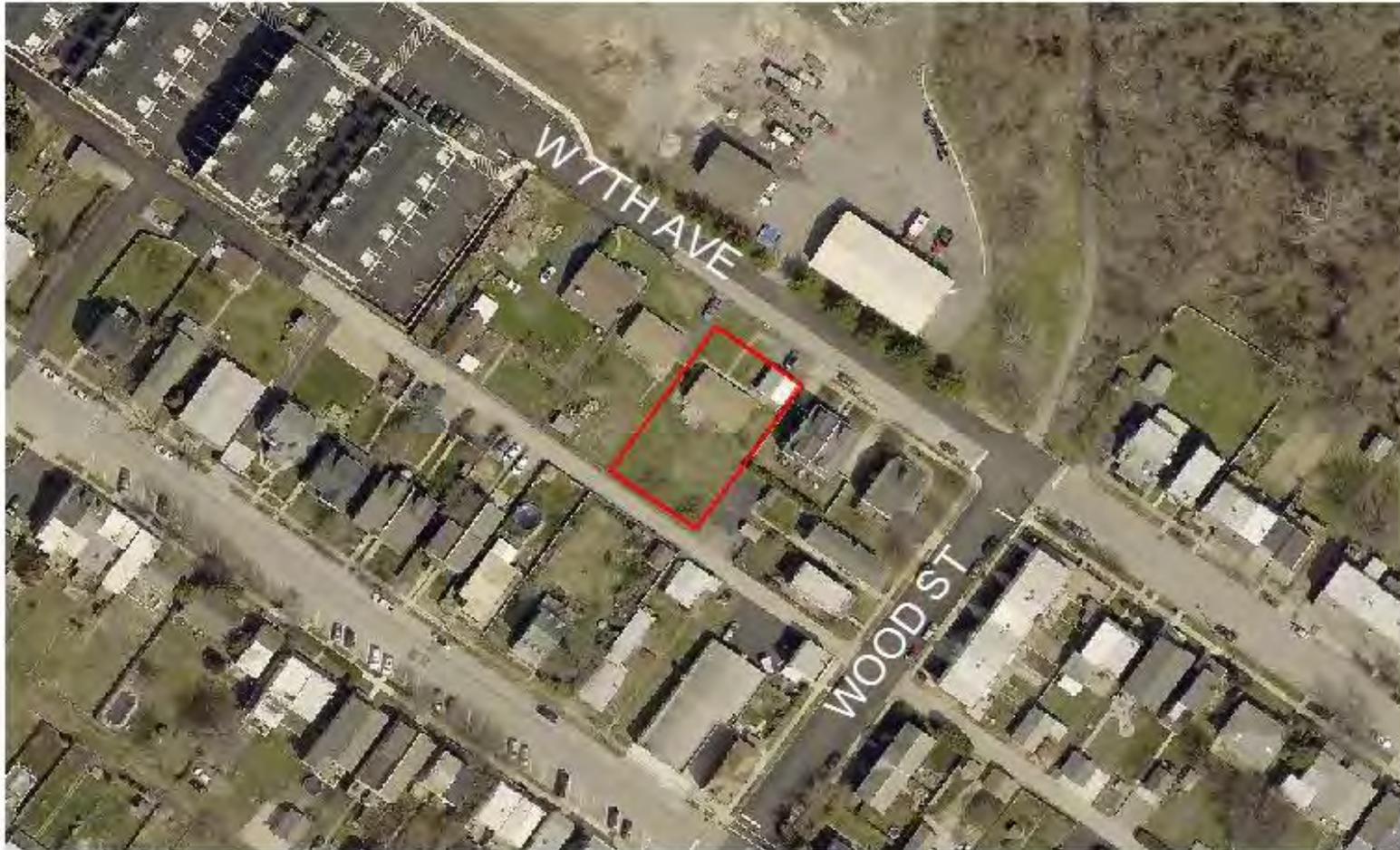
bjeffrie@montcopa.org - 610-278-3444

c: Stacy Ellam, Chair, Borough Planning Commission

Karen MacNair, Borough Engineer

Michael Peters, Borough Solicitor

Attachments: Aerial Photograph (1)
Site Plan (2)



331 W 7th Avenue
MCPC #200048001

Montgomery County
County Planning Commission
Montgomery County Courthouse - Planning Commission
PO Box 311 • Norristown PA 19304-0311
p) 610.275.3722 • f) 610.275.2941
www.montcopa.org/plc.com
Year 2017 aerial photography provided by Pictometry



BOROUGH OF CONSHOHOCKEN
MONTGOMERY COUNTY, PENNSYLVANIA

APPLICATION FOR SUBDIVISION/ LAND DEVELOPMENT

To be completed by the Borough:

Submission Information:	
File Number: <u>LD-2020-03</u>	File Date: <u>2/24/2020</u>
Project Title: <u>SEPTA Train Station</u>	Date Complete: <u>3/4/2020</u>
Received By: <u>B. Rogers</u>	90 Day Date: <u>5/24/2020</u>

REQUIRED MATERIALS FOR ALL LAND DEVELOPMENT/SUBDIVISION APPLICATIONS

1. This form **MUST** be completed and submitted with the Borough's Land Development/Subdivision application.
 2. A Land Development/Subdivision Application **MUST** include all of the items listed in the application checklist to be considered complete.

Incomplete applications will **NOT** be placed on a Planning Commission agenda. Incomplete applications will be returned to the applicant.
 3. Complete applications must be received at least 38 DAYS (see schedule) prior to the Planning Commission meeting at which it will be heard.
- It is highly encouraged to submit applications in a digital format.**
4. One (1) digital copy plus seven (7) paper copies of the complete application are required if submitting digitally, or fifteen (15) paper copies of the complete application are required.

Applicant Information:

Name: Southeastern Pennsylvania Transportation Authority
Address: 1234 Market Street, 5th Floor
Philadelphia, Pennsylvania 19103
Phone: 215.580.7496
Fax: _____
E-Mail*: DDwyer@septa.org

Property Owner Information (if different):

Name: _____
Address: _____
Phone: _____
Fax: _____
E-Mail*: _____

Architect/Planner: Alicia Nardo, Project Engineer, Southeastern Pennsylvania Transportation Authority

Address: 1234 Market Street, 5th Floor, Philadelphia, Pennsylvania 19103

E-mail*: ANardo@septa.org

Phone/Fax: 215.580.7432

Engineer/Surveyor: _____

Address: _____

E-mail*: _____

Phone/Fax: _____

Landscape Architect: _____

Address: _____

E-mail*: _____

Phone/Fax: _____

Attorney: Michael S. Gill, Esquire - Buckley, Brion, McGuire & Morris LLP

Address: 118 W. Market Street, Suite 300, West Chester, Pennsylvania 19382

E-mail*: gillm@buckleyllp.com

Phone/Fax: 610.436.4400

*All correspondence regarding this application from the Planning Commission and staff will be made via e-mail. All persons involved with this application should provide their e-mail addresses so that information including, but not limited to, meeting dates and plan reviews replaces revisions here, is distributed appropriately.

Application For: (See Section 22-305.A or the bottom of page 10 of the application packet for clarification)

- Minor Land Development
- Preliminary Major Land Development
- Final Major Land Development

- Minor Subdivision
- Preliminary Major Subdivision
- Final Major Subdivision

Project Information:

Location (Street Address): 2 Oak Street (intersection of Oak Street and Railroad ROW)

Tax Assessment Parcel No. 05-00-0032-01-7 County Deed Book No. _____ Page No. _____

Description of Proposed Work: Construction of New Conshohocken Regional Rail Station

Total Tract Acreage: See plans Project Acreage See plans

Zoning District SP-3, SP-1 Existing Number of Lots: 1 Proposed Number of Lots: 1

Proposed Land Use: Single-Family Detached Single-Family Semi-Detached Multi-Family
 Single-Family Attached Commercial Office Industrial

Other (Describe): Governmental Regional Rail Station

Existing Sewer Flows: _____

Proposed Sewer Flows: _____

Check List - Plans:

See attached plan set. N

The applicant must provide all of the following plans for an application to be considered complete. Section 22, Part 3 of the SALDO outlines plan submission requirements and the criteria that must be met in order for submissions to be deemed complete. These requirements are listed on information sheets provided at the end of this application package. If the required plans listed below do not have sufficient information to allow for staff reviews, the application may be considered incomplete and returned, requesting additional information.

- | | |
|--|---|
| <input type="checkbox"/> Record Plan | <input type="checkbox"/> Landscape Plan |
| <input type="checkbox"/> Existing Features Site Plan | (sealed by a Landscape Architect) |
| <input type="checkbox"/> Grading Plan | <input type="checkbox"/> Demolition Plan |
| <input type="checkbox"/> Erosion and Sediment Control Plan | <input type="checkbox"/> Detail Sheets |
| <input type="checkbox"/> Lighting Plan_Major | <input type="checkbox"/> Traffic Study (if applicable) |
| <input type="checkbox"/> Circulation Plan_Major | <input type="checkbox"/> Post Construction Stormwater Management Plan |
| <input type="checkbox"/> Stormwater Calculations | <input type="checkbox"/> Utility Plan |

Check List - Proof of ownership and zoning relief:

- Proof of equitable ownership or interest in the property - copy of the deed to the subject property
- Copy of adjudication of Zoning Hearing Board related to the application

Check List - Color Photographs of Site and Existing Conditions:

- Streetscape in all directions, showing subject property in each
- Façade and secondary elevations of existing building(s) on site
- Sidewalk and curb conditions
- Street trees
- Alley conditions, if present

Check List - Building Elevations:

- Architectural drawings and renderings of proposed building(s)

Check List - Setback of Proposed Building(s):

- Established building line for the block on which the property is located (eg: scale off an aerial) (In plan, show setbacks of all existing buildings on same side of the street as project for entire block.)

List of Requested Waivers:

Section/Requirement:

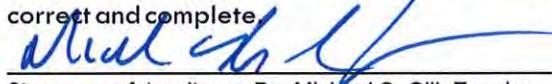
Relief Requested:

See attached letter

Have you met with the Zoning Officer regarding this plan? Yes No
 Are there known variances/any zoning relief necessary for this project? Yes No
 If YES, have you submitted an application for the Zoning Hearing Board? Yes No
 Has this plan been reviewed by the Zoning Hearing Board? Yes No

*Please be advised that if any variances are found to be necessary during the course of the review of this plan, you will be required to go to the Zoning Hearing Board prior to proceeding to the Planning Commission. In addition, you will be requested to grant the Borough a waiver to the 90-day action period or an immediate denial of this application will be made, and you will be required to resubmit the application.

The undersigned represents that to the best of his/her knowledge and belief, all the above statements are true, correct and complete.



Same

Signature of Applicant By: Michael S. Gill, Esquire
 Attorney for Applicant

Signature of Property Owner (If not the same as applicant)

3/4/2020
 Date

 Date

ALL MAJOR subdivision/land use applications require a pre-submission meeting to discuss the project prior to full application submittal.

MINOR subdivision/land use applications may request a pre-submission meeting; if one is desired.

Meetings are held the second and fourth Tuesday of each month beginning at 1:30pm at the Borough Administrative Offices.

Applicants assume responsibility of any fees associated with this meeting.

 3/4/2020
 Applicant signature Attorney for Applicant date

To schedule a pre-submission meeting, please contact the office of the Borough Manager
 ph: 610.828.1092
 e: landuse@conshohockenpa.gov

Borough Use Only:

___ Filing Fee Amount \$ _____ Check No. _____
 ___ Planning, Engineering and Legal Review Escrow Amount \$ _____ Check No. _____

Decision Information:

Approval _____ Denial _____ Decision Date: _____

Comments/Conditions:

MATCH LINE A - SEE SHEET C401

REV	DATE	DESCRIPTION	BY	CKD	APD

**CONSHOHOCKEN STATION
NORRISTOWN / MANAYUNK LINE
TRAIN STATION RECONSTRUCTION**

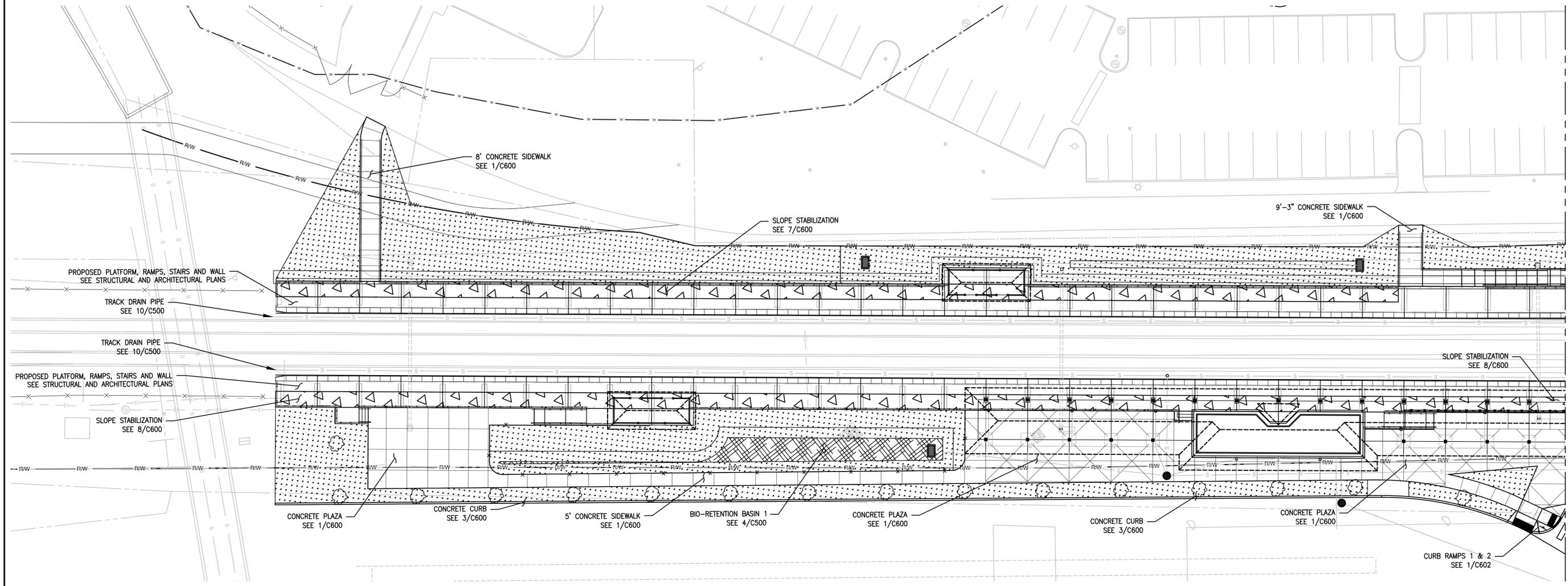
CIVIL
SITE IMPROVEMENTS PLAN

SCALE:	AS NOTED	SCALE FACTOR:	1:1
DATE:	01/28/20	DRAWN BY:	SS
WORK ORDER NO.:	1BF-1008	CHECKED BY:	
SHEET NUMBER:	C400		
DWG. NO.:	C400	OF	
SHT. NO.:		OF	
PLANS ROOM BN. NO.:			
COMPUTER FILE NO.:		REV. NO.:	0

S:\BRIDGES\BUILDINGS_FACILITIES\ENGINEERING\PROJECTS\2014\4DK\CIVIL\WORKING DRAWINGS\C400-SITE IMPROVEMENTS PLAN.DWG

DATE PRINTED: 1/29/2020 12:19:39 PM

100% DESIGN



1 SITE IMPROVEMENTS PLAN
C400 SCALE: 1"=20'
FILE: REF: -

LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	LIMIT OF DISTURBANCE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING SEWER MAIN W/MANHOLE
	EXISTING STORM SEWER W/MANHOLE
	EXISTING SEWER MAIN W/MANHOLE
	EXISTING WATER LINE W/VALVE
	COMPOST FILTER SOCK
	GRASS
	SUMP INLET
	SUMP MANHOLE
	PROPOSED STORM SEWER W/MANHOLE
	TERRE KLEEN
	PLATFORM SLOPE STABILIZATION
	PROPOSED FENCE



- SITE IMPROVEMENT NOTES:**
- SITE WILL BE FULLY ADA COMPLIANT
- PARKING LOT LAYOUT PLAN NOTES:**
- 7 NEW NON ADA STALLS - 8.5' X 18'
 - 2 NEW ADA VAN ACCESSIBLE STALLS - 9' X 18'
 - 11 EXISTING STALLS TO REMAIN
 - 52 NEW STALLS TO BE INSTALLED IN EXISTING PARKING LOT - WORK TO BE CONSTRUCTED BY OTHERS
 - 10 NON ADA STALLS TO BE INSTALLED IN EXISTING LOT BY SEPTA
 - 24' WIDE PARKING AISLES
 - 2 WAY DESIGN WITH 2 ENTRANCE/EXITS ON WASHINGTON STREET
 - 5' RADIUS OF CURVE FOR ALL CURBS WITHIN THE PARKING LOT INTERIOR UNLESS OTHERWISE NOTED
 - ALL SIGNS TO COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2009 OR CURRENT EDITION
 - SEE C300 FOR BENCHMARKS AND SURVEY POINT LOCATIONS
- DROP OFF LOOP AND OAK ST. LAYOUT PLAN NOTES:**
- NEW GRADE CROSSING TO EXTEND OAK STREET
 - OAK STREET - 30' WIDE CARTWAY WIDTH
 - DROP OFF LOOP IS ONE WAY WITH 15' DRIVE AISLES
 - DROP OFF LOOP INCLUDES 5 ADA ACCESSIBLE PARKING STALLS (2 VAN ACCESSIBLE)
 - ALL CURVES HAVE A 5' RADIUS UNLESS OTHERWISE NOTED
 - SEE C&S PLANS FOR GRADE CROSSING DEVICES AND SIGNAGE
 - SEE C300 FOR BENCHMARK AND SURVEY POINT LOCATIONS
- STORMWATER MANAGEMENT NOTES:**
- THE STORMWATER MANAGEMENT SYSTEM FOR THIS PROJECT INCLUDES AN UNDERGROUND DETENTION BASIN, 3 BIO-RETENTION BASINS, 2 TERRE KLEEN WATER QUALITY DEVICES AND SUMP INLETS AND MANHOLES.
 - TIE INBOUND TRACK RAIN WATER LEADERS INTO THE UNDERGROUND DETENTION BASIN
 - SURFACE DISCHARGE OUTBOUND RAIN WATER LEADERS INTO THE LANDSCAPED AREA

PARKING LOT SCHEDULE (INCLUDING TURNAROUND)

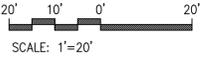
	EXISTING	PROPOSED
NON ADA	89	80
ADA NON VAN ACCESSIBLE STALLS	2	3
ADA VAN ACCESSIBLE STALLS	1	4
TOTAL	92	87

TOTAL DISTURBED AREA
81,809 Sq. Ft. or 1.88 Ac.

PENNSYLVANIA ONE CALL SYSTEM INC.
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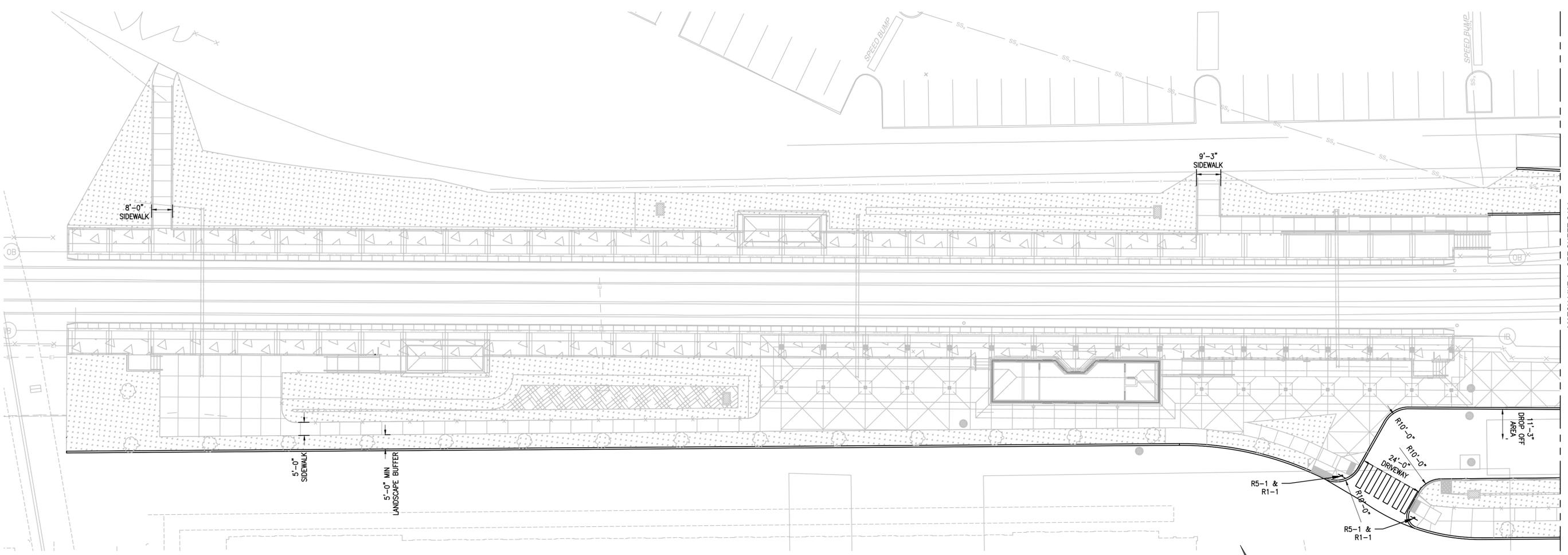
REV	DATE	DESCRIPTION	BY	CKD	APD

CONSHOHOCKEN STATION
NORRISTOWN / MANAYUNK LINE
TRAIN STATION RECONSTRUCTION

CIVIL
PLATFORM AND PLAZA LAYOUT PLAN

SCALE:	AS NOTED	SCALE FACTOR:	1:1
DATE:	01/28/20	DRAWN BY:	SS
WORK ORDER NO.:	1BF-1008	CHECKED BY:	
SHEET NUMBER:	C403		
DWG. NO.:	C403	OF	
SHI. NO.:		OF	
PLANS ROOM BN NO.:			
COMPUTER FILE NO.:		REV. NO.:	0

S:\BRIDGE\BUILDINGS-FACILITIES\ENGINEERING\PROJECTS\2014\14DC\14DC\WORKING DRAWINGS\C403-PARKING LOT LAYOUT PLAN.DWG
DATE PRINTED: 1/29/2020 12:21:30 PM
100% DESIGN



1 PLATFORM AND PLAZA LAYOUT
SCALE: 1"=20'
FILE: REF: --



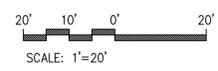
LEGEND

— RW —	PROPERTY LINE
— ADJ —	ADJACENT PROPERTY LINE
— LOD —	LIMIT OF DISTURBANCE
— E —	EXISTING OVERHEAD ELECTRIC LINE
— GAS —	EXISTING GAS LINE
— SS ₁ —	EXISTING SEWER MAIN W/MANHOLE
— S —	EXISTING STORM SEWER W/MANHOLE
— SS ₂ —	EXISTING SEWER MAIN W/MANHOLE
— W —	EXISTING WATER LINE W/VALVE
— FS —	COMPOST FILTER SOCK
[Pattern]	GRASS
[Symbol]	SUMP INLET
[Symbol]	SUMP MANHOLE
— S —	PROPOSED STORM SEWER W/MANHOLE
[Symbol]	TERRE KLEEN
[Symbol]	PLATFORM SLOPE STABILIZATION
— X —	PROPOSED FENCE

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MICHAEL S. GILL, ESQUIRE

p: 484.887.7534

f: 610.436.8305

e: gillm@buckleyllp.com

118 W. Market Street, Suite 300

West Chester, PA 19382-2928

May 13, 2020

Stephanie Cecco, Borough Manager
Borough of Conshohocken
400 Fayette Street, Suite 200
Conshohocken, Pennsylvania 19428

Re: Southeastern Pennsylvania Transportation Authority
New Conshohocken Regional Rail Station Project
LD-2020-03

Dear Ms. Cecco:

This Firm represents Southeastern Pennsylvania Transportation Authority (SEPTA) with regard to the above matter. We received and discussed with SEPTA the Review Letters from the Borough's Professional Consultants and Montgomery County Planning Commission which Ms. Rogers sent to SEPTA on April 17, 2020. The following are SEPTA's responses to the Comments in those Review Letters.

Remington & Vernick Engineers Review Letter dated March 16, 2020.

1. SEPTA will comply with this Comment and will forward its plan set and sanitary sewer-related information to the Borough of Conshohocken Authority.
2. SEPTA will include the requested storm pipe calculations within the next iteration of its Stormwater Management Report.
3. SEPTA will include the requested pre-development and post-development calculations within the next iteration of its Stormwater Management Report.
4. SEPTA will include the requested Stormwater Management Narrative within the next iteration of its Stormwater Management Report.
5. SEPTA will comply with Comment No. 5.
6. On April 17, 2020, SEPTA sent to the Borough copies of the NPDES Permit-related documents which SEPTA submitted to the Montgomery County Conservation District.
7. SEPTA will include the requested water quality calculations within the next iteration of its Stormwater Management Report.



8. SEPTA will include the requested scale bars on the plan view sheets within the next iteration of the Revised Plan Set.
9. SEPTA will consecutively number the plan sheets within the next iteration of the Revised Plan Set.
10. SEPTA will add its name and address to the next iteration of the Revised Plan Set.
11. SEPTA will add the requested signature blocks to the next iteration of the Revised Plan Set.
12. No Response Necessary.
13. SEPTA will include the inspection risers for the underground stormwater basin on the next iteration of the Revised Plan Set.
14. SEPTA will add the requested note to the next iteration of the Revised Plan Set.
15. SEPTA will comply with Comment No. 15.

Zoning Officer (Pennoni Associates, Inc.) Review Letter dated April 16, 2020.

1. Pursuant to the Floodplain Conservation District regulations, SEPTA will include the requested delineations on the next iteration of the Revised Plan Set.
2. SEPTA will include the requested Zoning Compliance Table on the next iteration of the Revised Plan Set.
3. The information which the Zoning Officer requested pursuant to Comment No. 3 is with regard to a development other than the New Conshohocken Station and is outside of the scope of SEPTA's project.
4. The sidewalk which is the subject of Comment No. 4 is on a property separate and apart from the site of the New Conshohocken Station and is outside of the scope of SEPTA's project.
5. SEPTA calculates that open space will constitute 29% of the total area of the tract at which SEPTA will construct the New Conshohocken Station.
6. SEPTA will comply with Comment No. 6.
7. SEPTA will amend the application which is now pending before the Zoning Hearing Board to include a request for a variance from Section 27-1609.1.B. of the Zoning Ordinance as applicable to the tract on which SEPTA will construct the New Conshohocken Station. In that regard, SEPTA notes that the area located south of Oak Street is outside the scope of SEPTA's project.



8. SEPTA will comply with Comment No. 8 on the tract on which SEPTA will construct the New Conshohocken Station.
9. SEPTA's parking calculation is based upon the area of the Station Building which it will construct as part of the New Conshohocken Station.
10. There will not be any parking stalls on the tract at which SEPTA will construct the New Conshohocken Station at which any part of a parked car could extend beyond the boundaries of the parking lot and onto a walkable surface.
11. SEPTA will amend the application which is now pending before the Zoning Hearing Board to include a request for a variance from Section 27-2007.I. of the Zoning Ordinance to permit more than one access way onto the adjacent roadway.
12. All handicapped parking spaces which SEPTA will construct at the New Conshohocken Station will comply with the Americans with Disabilities Act.
13. SEPTA will amend the application which is now pending before the Zoning Hearing Board to include a request for a variance from Section 27-821.E. of the Zoning Ordinance to permit SEPTA will install light poles measuring 24' in height and, otherwise, will include a revised Lighting Plan within the next iteration of the Revised Plan Set.
14. SEPTA will include the requested fencing detail within the next iteration of the Revised Plan Set.
15. SEPTA will include the requested speaker-related information within the next iteration of the Revised Plan Set.
16. All of the signs which SEPTA now proposes as part of the New Conshohocken Station are government signs for which, pursuant to Section 27-2104.2.A. of the Zoning Ordinance, a sign permit is not required.
17. SEPTA will include on Sheet G101 of the next iteration of the Revised Plan Set references to SP-1 Special Planned District 1, SP-3 Special Planned District 3, and the Floodplain Conservation District.

Montgomery County Planning Commission Review Letter dated March 30 2020.

- A.1. SEPTA will comply with Comment No. A.1.
- B.1. SEPTA's engineers examined the feasibility of moving the subject manhole outside of the trail corridor and concluded that it is impossible to do so.
- C.1. No Response Necessary.



1. SEPTA plants grass cover at Regional Rail Stations, as appropriate, and uses a contractor to maintain those features across large portions of the system. The use of different types of ground cover at individual stations would unreasonably interfere with that maintenance plan.
2. SEPTA will comply with Landscaping Comment No. 2.
3. SEPTA will comply with Landscaping Comment No. 3.
- D.1. SEPTA will comply with Comment No. D.1.

Pennoni Associates, Inc. Traffic Engineering Review Letter dated April 6, 2020.

1. SEPTA will submit to the Borough the Traffic Impact Study which SEPTA commissioned with regard to the New Conshohocken Station.
- 2.a. SEPTA will comply with Comment No. 2.a.
- 2.b. The improvements which are the subject of Comment No. 2.b. are outside of the scope of SEPTA's project.
- 2.c. SEPTA will comply with Comment No. 2.c.
- 3.a. SEPTA will comply with Comment No. 3.a.
- 3.b. SEPTA will cooperate with the Borough to facilitate the requested roadwork.
- 3.c. SEPTA will include the requested parking area dimensions within the next iteration of the Revised Plan Set.

Thank you for your courtesies. We look forward to discussing these responses with the Borough Planning Commission on Thursday evening and, then, with Borough Council.

Please contact us directly with any questions or comments.

Very truly yours,
Michael S. Gill
Michael S. Gill



March 16, 2020

Borough of Conshohocken
400 Fayette Street, Suite 200
Conshohocken, PA 19428

Attn: Ms. Stephanie Cecco, Borough Manager
c/o Brittany Rogers

Re: SEPTA Train Station
2 Oak Street (10 Washington Street)
TMP #05-00-00032-01-7
Conshohocken File # LD-2020-03
Our File # PMCOP220, First Review

Dear Ms. Cecco:

We have received the following information for the review of the subject project:

- ▶ Plans for Conshohocken Station – General / Architectural – 7 sheets dated various as prepared by SEPTA EM&C Division, Philadelphia, PA.
- ▶ Plans for Conshohocken Station – Civil – 41 sheets dated January 28, 2020 as prepared by SEPTA EM&C Division, Philadelphia, PA.
- ▶ Plans for Conshohocken Station – Track – 4 sheets dated December 3, 2019 as prepared by SEPTA EM&C Division, Philadelphia, PA.
- ▶ Plans for Conshohocken Station – Architectural – 23 sheets dated various as prepared by SEPTA EM&C Division, Philadelphia, PA.
- ▶ Plans for Conshohocken Station – Structural – 7 sheets dated January 28, 2020 as prepared by SEPTA EM&C Division, Philadelphia, PA.
- ▶ Plans for Conshohocken Station – Mechanical & Electrical – 9 sheets dated January 28, 2020 (Mechanical) and February 3, 2020 as prepared by SEPTA EM&C Division, Philadelphia, PA.
- ▶ Plans for Conshohocken Station – Communication and Signals, and New Payment Technology, and Structural – 25 sheets dated various as prepared by SEPTA EM&C Division, Philadelphia, PA.
- ▶ Plans for Conshohocken Station – Mechanical – 5 sheets dated January 28, 2020 as prepared by SEPTA EM&C Division, Philadelphia, PA.
- ▶ Plans for Conshohocken Station – Station Building – 14 sheets dated various as prepared by SEPTA EM&C Division, Philadelphia, PA.

- ▶ Borough of Conshohocken Transmittal Letter dated March 4, 2020.
- ▶ Borough of Conshohocken Application for Subdivision / Land Development dated March 4, 2020.
- ▶ Request for Waiver of Subdivision and Land Development Letter dated February 20, 2020 as submitted by SEPTA.
- ▶ Montgomery County Planning Commission Applicant Request for County Review Form dated February 26, 2020 as submitted by SEPTA.
- ▶ Copy of Property Deed dated May 12, 1857 for Philadelphia, Germantown and Norristown Rail Road Company.
- ▶ Professional Services Agreement between the Borough of Conshohocken and SEPTA dated November 22, 2019.

I. GENERAL INFORMATION

Applicant & Owner: Southeastern Pennsylvania Transportation Authority
 1234 Market Street, 5th Floor
 Philadelphia, PA 19103
 215-580-7496
 Attn: Dan Dwyer, Esq.
 DDwyer@septa.org

Architect: Southeastern Pennsylvania Transportation Authority
 1234 Market Street, 5th Floor
 Philadelphia, PA 19103
 215-580-7432
 Attn: Alicia Nardo, Project Engineer
 ANardo@septa.org

Attorney: Buckley, Brion, McGuire & Morris LLP
 118 W. Market Street, Suite 300
 West Chester, PA 19382
 610-436-4400
 Attn: Michael S. Gill, Esq.
 gillm@buckleyllp.com

SRT: Schuylkill River Trail Partners
 c/o Montgomery County

SRT: Schuylkill River Trail Partners
c/o Montgomery County
610-666-5371
mharris@montcopa.org

Proposal: Construct a new Regional Rail Station west of the existing station. Construct a new vehicular and pedestrian at-grade crossing as an extension of Oak Street.

II. COMMENTS

Zoning District SP-1 and SP-3.

General / Architectural Drawings – 11” X 17” plan sheets

Civil Drawings – 11” X 17” plan sheets – 1” = 40’ scale

1. Submit Plans to the Borough of Conshohocken Authority for sanitary sewer review and comments. No Construction Permits will be issued until the Borough receives written approval from the Authority. (§18-113.1).
2. Provide storm pipe calculations showing the connection of the proposed piping to the existing Borough storm system will have sufficient capacity (§19-104.1).
3. Provide Stormwater Management (SWM) pre and post development calculations to show a zero increase in runoff (§19-104.12.A(1)).
4. Prepare a SWM Narrative (§19-105.A).
5. SEPTA shall enter into an agreement with the Borough that SEPTA shall provide permanent maintenance of the SWM Facilities (§19-106.1).
6. Provide copies of the project NPDES Permit to the Borough (§19-111.B(3)).
7. Provide water quality calculations (§19-111.C(1)).
8. Add scale bars to the plan view sheets (§22-304.A(1)).
9. The plans should be consecutively numbered (§22-304.A(4)).
10. Add the name and address of the applicant and owner to the plans (§22-304.B(1)).
11. Add thee attached signature blocks to the plans (§22-306.C(1) & (2); §22-307.D(2), (3) & (4)).
12. Water service details will be reviewed by Aqua PA and the Borough (§22-414.3).
13. On Plan Sheet C410 – show the inspection risers for the underground basin in the paved area.

14. On Plan Sheet C800 – add a note that Landscape Material shall be Guaranteed for two (2) growing seasons (§22-421.3).
15. Contact the Schuylkill River Trail Partners in order for them to post a Trail Alert on their web site for the project detour.

III. REQUESTED WAIVERS

1. Section 22-404.3.F(6) – to allow parking stall size of eight and one-half (8.5) feet wide by eighteen (18) feet deep where nine (9) feet wide by eighteen (18) feet deep are required.
2. Section 22-405(1)(C) – to not construct sidewalks having a required width of fifteen (15) feet.
3. Section 22-804 – to not provide park and recreational land or the payment of substitute fees.

Review of added features may result in additional comments not already listed herein. Our approval is contingent upon the applicant addressing the items in this letter and any subsequent reviews. The Applicant shall respond in writing using the numbering system found in this review letter.

Should you have any questions please feel free to contact our office (610) 940-1050.

Very truly yours,
Remington, Vernick & Beach Engineers



Christopher J. Fazio, P.E., C.M.E.
Executive Vice President

cc: Thomas F. Beach, P.E., C.M.E., Executive Vice President
James R. Watson, P.E., P.L.S., RVB, Plan Reviewer

April 16, 2020

BCONS 20006

Stephanie Cecco, Borough Manager
Conshohocken Borough
400 Fayette Street, Suite 200
Conshohocken, PA 19428

**RE: Zoning Review
SEPTA Conshohocken Train Station – Preliminary/Final Land Development Application**

Dear Ms. Cecco:

As requested, we reviewed the following in connection with the referenced project:

- *“Conshohocken Station Norristown/Manayunk Line Station Construction,”* (143 sheets) prepared by Southeastern Pennsylvania transportation Authority (SEPTA), dated November 3, 2017.

The applicant, SEPTA, proposes to redevelop the regional rail train station, currently located at 10 Washington Street, with a new station located along the train tracks to the west of the existing station at 2 Oak Street. The site is located in the SP-1 – Special Planned District 1, SP-3 – Special Planned District 3, and Floodplain Conservation District. The proposed regional rail station will include ADA accessible full-length high-level platforms, ticketing office with public restrooms, new passenger shelters, covered bicycle parking, reconfigured parking lot with 87 spaces, sidewalks with connection to the Schuylkill River Trail, SEPTA Key equipment, passenger drop-off loop, landscaping, and stormwater management facilities. A new at-grade crossing is also proposed, extending Elm Avenue across the train tracks, providing direct access to the train station and Washington Avenue.

We offer the following comments:

1. In the Floodplain Conservation District, train stations and vehicle parking are not permitted uses (§27-1713); and new construction, alterations, or improvements of any building or structures is prohibited (§27-1713) The proposed development will require a Variance granted by the Zoning Hearing Board in accordance with §27-1718. The applicant submitted a Variance application received on January 31, 2020; however, as outlined in our February 27, 2020 letter, the application cannot be considered for review until the required supporting documentation per Part 17, Article F of the Borough Zoning Code are received. Additionally, the Land Development Plans are to identify the Floodplain Districts as determined by the FEMA Flood Insurance Study.
2. The applicant is to provide a zoning compliance table, along with a site plan clearly identifying the property lines in order to confirm compliance with the floor area limitations, minimum lot area, building coverage, and setback regulations outlined in §27-1608. Please note, the existing site layout and inability to modify the location of site features such as the track locations may require variances; however, sufficient information needs to be provided in order to make a determination on the need for a variance.

3. Notes on the provided plans indicate the demolition of the existing train station, including a portion of the existing parking lot and Washington Avenue cartway, along with the reconfiguration of the parking lot, and the installation of stormwater management facilities, lighting, and SEPTA Key parking payment machines will be completed by others. The plans indicate the stated improvements as dashed lines on the plan. The proposed redevelopment of the existing station property appears to be an integral part of the Land Development application under review, including the majority of the parking proposed to be provided as part of the new train station development. Sufficient information is to be provided, including but not limited to parking space dimensions, drive isle widths, setbacks, and landscaping, to confirm zoning compliance.
4. The public thoroughfares in the Borough should be safe and efficient for all vehicles, pedestrians, and bicyclists. (§27-105.G) Sidewalks are proposed around the new train station and Elm Avenue extension; however, no sidewalk is proposed along the Washington Street frontage of the existing parking lot proposed to be reconfigured. Sidewalk should be provided between the Elm Avenue extension and the existing sidewalk that currently ends at the eastern edge of the parking lot.
5. A minimum of 15% of the total tract area shall be provided as open space. The open space can include required setbacks and easements for stormwater management and drainage if such areas are landscaped and designed to fulfill the intent of the open space requirement. (§27-1608.7)
6. Shade trees, with a minimum 3.5-inch caliper, shall be provided along all street and be setback a minimum of 4 feet behind the curb. (§27-1609.1.A) Shade trees are proposed along the new train station street frontage; however, the trees are only located 3 feet behind the curb. Additionally, no street trees are proposed along the frontage of the existing parking lot proposed to be modified. The applicant should also confirm the tree caliper dimension listed in the landscaping schedule on sheet C-800.
7. All surface lots shall be buffered with a landscape area of at least ten (10) feet in width and shall contain at least three (3) 3.5-inch caliper trees and at least 30 ornamental and flowering shrubs per 100 linear feet of parking lot frontage. (§27-1609.1.B) The required landscaping is to be provided along the parking adjacent to the new train station and the existing parking lot proposed to be modified.
8. All parking lots shall be intensively landscaped with a minimum of one (1) 3.5-inch caliper shade tree for every 10 parking spaces planted in islands of not less than 36 square feet of planting area. (§27-1609.C)
9. For a railroad passenger terminal, one parking space is required for every 500 square feet of floor area. (§27-2011.B(1)) Parking calculations are to be provided.
10. Wheel or bumper guards are to be located and arranged to prevent any part of a parked vehicle from extending beyond the boundaries of the parking lot. (§27-2007.D)
11. Each property shall have no more than one access way on each street on which the property abuts. (§27-2007.I) The proposed development has two (2) full movement driveways and two (2) one-way driveways.
12. In the SP-3 District, the minimum handicap parking space dimension shall be 13 feet wide by 20 feet long. (§27-2007.K)

13. In the case of new exterior lighting associated with a proposed subdivision or land development, a lighting plan is to be provided indicating the location, mounting height, fixture type, wattage and isolux diagram (plotted on the site plan) for all proposed light fixtures. Adequate illumination must be provided for all pedestrian circulation routes, vehicular access points, access ways, and building entrances. All proposed lighting shall be pedestrian-oriented, downward directed and shall have a mounting height not exceeding 15 feet. In no case may exterior lighting levels exceed 0.25 footcandles at a lot line abutting a residential property or district. §27-821.E) A lighting plan was provided; however, intensities are only provided for the train platforms and immediate vicinity and indicates lights mounted above 15 feet. A lighting intensity plan and lighting details are to be provided for the full development, including parking lot facilities, with consideration given to the existing and soon to be constructed residential properties abutting the station.
14. A detail is to be provided for the proposed fencing to confirm compliance with §27-809.
15. At no point on the boundary of the adjoining property shall the sound pressure level of any operation exceed the levels outlined in §27-817.D. The plans indicate loudspeakers to be installed in the train station platforms. Information is to be provided on the speakers to confirm compliance.
16. A signage package will need to be submitted prior to construction to confirm compliance with Part 21 of the Borough Zoning Code.
17. The Zoning District note on plan sheet G101 is to be updated to reflect SP-1 – Special Planned District 1, SP-3 – Special Planned District 3, and Floodplain Conservation District.

If you have any questions or concerns, please feel free to contact the undersigned.

Sincerely,



Eric P. Johnson, PE
Zoning Officer
PENNONI ASSOCIATES INC.

EPJ/

BCON18006

April 6, 2020

Stephanie Cecco
Borough Manager
Borough of Conshohocken
400 Fayette Street, Suite 200
Conshohocken, PA 19428

**RE: Traffic Engineering Review
SEPTA Train Station – Conshohocken Station Norristown / Manayunk Line
Washington Street & Oak Street**

Dear Ms. Cecco:

We have completed our review of the material submitted for the above referenced land development proposal. The submission consisted of the Conshohocken Station Norristown/Manayunk Line Plans, prepared by the Southeastern Pennsylvania Transportation Authority (SEPTA), dated November 3, 2017. SEPTA proposes to construct a new relocated regional rail station near Oak Street, which is northwest of the existing station at 10 Washington Street. The proposed regional rail station will include ADA accessible full-length high-level platforms, public restrooms, new passenger shelters, pathways, sidewalk, handrails, guardrails, covered bicycle parking, additional roadway, trail access, vehicle circulation improvements, SEPTA Key equipment, drop-off loop, ADA parking stalls, public grade crossing, and improved parking and stormwater management facilities. We offer the following comments and information for your consideration:

1. §27-824 – A Traffic Impact Study should be prepared to assess the impact of the proposed development on the adjacent street network. The study should evaluate the impact of the current plan and any future planned phases, including additional parking areas (if any) and the traffic generated by those future planned phases.
2. §22-403 – Streets
 - a. The applicant should coordinate with the adjacent proposed development(s) to ensure that the new rail crossing that will connect Oak Street to Washington Street is completed in advance of the operation of the proposed development.
 - b. The southeastern corner radius at the intersection of Oak Street and Stoddard Avenue must be revised to accommodate vehicles turning from northbound Oak Street to eastbound Stoddard Avenue.
 - c. Supplemental pavement markings should be provided at the proposed Oak Street rail crossing like those recently installed at the adjacent crossings within the Borough (Harry Street, Ash Street, Poplar Street, Cherry Street).

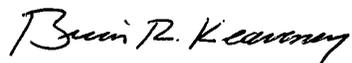
3. §22-404 – Alleys, Driveways, and Parking Areas

- a. The plans should show available corner sight distance measurements for each proposed driveway. In particular, the proposed exiting driveway of the one-way drop-off loop on the north side of Washington Street must provide a clear sight triangle free of any obstructions due to its location on a curve.
- b. The plans should illustrate maneuverability diagrams for fire and emergency services vehicles through the parking areas and ensure that these vehicles can access the site to the satisfaction of the Borough Fire Marshal.
- c. The plans should depict the dimensions of all drive aisles within the parking areas.

If you have any questions or require additional information, please do not hesitate to contact me.

Very truly yours,

PENNONI ASSOCIATES INC.



Brian R. Keaveney, PE, PTOE
Transportation Division

cc: Ray Sokolowski, Executive Director of Operations
George Metz, Chief of Police
Timothy Gunning, Fire Chief and Fire Marshal
Karen MacNair, PE, Borough Engineer
Michael Peters, Esq., Borough Solicitor
Brittany Rogers, Executive Assistant



BOROUGH OF CONSHOHOCKEN

Fire Marshal

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Robert Stokley, Senior Member
Anita Barton, Member
James Griffin, Member
Jane Flanagan, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: April 8, 2020

To: Stephanie Cecco, Borough Manager

From: Timothy Gunning, Fire Marshal

Re: Fire Marshal Review
SEPTA Station
Waiver of Land Development

As requested, a review of the material submitted for the above referenced land development proposal has been completed. The submission consisted of the Conshohocken Station Norristown/Manayunk Line Plans, prepared by the Southeastern Pennsylvania Transportation Authority (SEPTA), dated November 3, 2017. SEPTA proposes to construct a new relocated regional rail station near Oak Street, which is northwest of the existing station at 10 Washington Street.

Upon review of the submitted plan, I have no comments.

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

VALERIE A. ARKOOSH, MD, MPH, CHAIR
KENNETH E. LAWRENCE, JR., VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG

JOHN S. COVER, AICP
INTERIM EXECUTIVE DIRECTOR

March 30, 2020

Ms. Brittany Rogers, Executive Assistant to Borough Manager
Borough of Conshohocken
400 Fayette Street, Suite 200
Conshohocken, Pennsylvania 19428

Re: MCPC # 20-0071-001
Plan Name: New Conshohocken Regional Rail Station
1 lot / 83,276 square feet (1.91 acres)
Situate: 2 Oak Street, Conshohocken

Dear Ms. Rogers:

We have reviewed the above-referenced land development plans in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on March 5, 2020. We forward this letter as a report of our review.

BACKGROUND

The applicant, SEPTA, submitted land development plans and reports to the Borough describing the proposed New Conshohocken Regional Rail Station and requesting several waivers. The proposed new station will replace an existing station located a short distance away to the east. The existing station consists of a ticket office trailer, bus shelter, and gravel parking lot. The new station will include full-length high-level platforms, public restrooms, passenger shelters, covered bicycle parking, a vehicular drop-off area, improved parking, and stormwater management facilities.

The new station will be located on Tax Parcel #05-00-00032-01-7 which is 83,276 square feet in size (1.91 acres) and has two zoning designations: Specially Planned District 1 (SP-1) and Specially Planned District 3 (SP-3). The existing station is located on this same parcel east of the new station location.

SEPTA has requested a review and approval waiver from the Borough that would allow SEPTA to submit its transportation plans and reports in lieu of traditional land development plans and processes which the Borough Subdivision and Land Development Ordinance (SALDO) and the Borough Stormwater Management Ordinance (SWMO) would normally require. SEPTA has also requested Substantive Waivers related to parking stall size, sidewalk width, and the dedication of land for park and recreational use or payment of substitute fees.

To accommodate vehicular, bicycle, and pedestrian access to the new station, Oak Street will be extended south across the railroad tracks. This street extension will also cross the Schuylkill River Trail. Several existing industrial uses sit south of the railroad between the tracks and the Schuylkill River. The Borough's central commercial corridor, Fayette Street, extends as a bridge over the existing station and crosses the river south of the proposed



station. A large multi-story parking garage sits north of the existing station and tracks. Further to the west, on the northern side of the tracks, is a large condominium development called “The Grande.” The central portion of the Borough’s commercial district is approximately one-quarter mile northeast of the proposed new station.

COMPREHENSIVE PLAN COMPLIANCE

The proposal is generally consistent with the *2018 Conshohocken Borough Comprehensive Plan Update*. It is generally consistent with the plan’s goal and objectives related to transportation and infrastructure, specifically with the objective to “support access to and expansion of the regional public transportation system.” The Montgomery County Planning Commission (MCPC) recommends following our comments below in order to improve the proposal’s consistency with the plan’s transportation objective to “encourage the use of alternative non-motorized modes of transportation such as: walking, hiking and biking” as well as the plan’s natural and cultural resources objective to “encourage and advocate the use and protection of native species of plants.”

The proposal is also generally consistent with the county’s comprehensive plan, *Montco 2040: A Shared Vision*, which promotes the following three main themes: connected communities, sustainable places, and vibrant economy. The new station would lead to more “connected communities” through improved transportation quality that would increase transit ridership and help make the Borough’s commercial district accessible to everyone. This increased ridership along with the proposed stormwater management facilities would contribute to “sustainable places.” And finally, the new station would contribute to a “vibrant economy” through improved transportation access to businesses within a one-half mile radius walk of the station. However, by following the recommendations below, the proposed project would better respond to the goals detailed in the plan for the “connected communities” and “sustainable places” themes.

RECOMMENDATION

The MCPC generally supports the applicant’s proposal, however, in the course of our review we have identified the following issues that the applicant and the Borough of Conshohocken may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

SCHUYLKILL RIVER TRAIL

Following MCPC’s attendance at the Public Utility Commission’s field investigation and conference held on February 21, 2020 regarding the proposed public crossing of the railroad, we communicated with SEPTA’s Architecture Project Engineer, Alicia Nardo, regarding our concerns related to impacts from the project on the Schuylkill River Trail (SRT). While MCPC is pleased that the horizontal alignment of the SRT will be slightly straightened from its current configuration and a telephone pole with curbing around it will be removed from the middle of the trail, we are also concerned about the addition of this new vehicular crossing of the trail and want to ensure the safety of trail users to the greatest extent feasible. We reiterate our concerns here:

A. Trail Width:

1. Sheet C602 entitled "Curb Ramp Details Plan" and dated January 28, 2020 indicates that at the proposed new road crossing, the trail would be 9 feet 6 inches in width on one side and 9 feet 8 inches in width on the other side. For trail user safety, we would like the trail to maintain a minimum width of 10 feet in accordance with the American Association of State Highway and Transportation Officials (AASHTO) guidelines for a two-directional shared use path. From our communication with Ms. Nardo, we understand that the project engineer is investigating how to achieve this standard.

B. Storm Sewer Manhole:

1. Sheet C401 entitled "Site Improvements Plan – 1" and dated January 28, 2020 indicates that a storm sewer manhole would be located in the middle of the SRT at the proposed road crossing. In accordance with AASHTO guidelines, we would like the manhole to be moved to a location outside of the trail corridor in order to prevent slipping accidents by trail users as well as to prevent trail closures when work needs to be performed at the manhole location. We understand that the project engineer is investigating how to achieve this standard.

C. Trail Detour:

1. Sheet C604 entitled "Trail Detour Plan" and dated January 28, 2020 indicates the proposed route for a trail detour during construction periods. Traveling west on the SRT, the proposed route will take two-way bicycle and pedestrian traffic uphill along the western 5-foot-wide sidewalk of Oak Street (approx. 400 feet) and then turn left at the corner of Elm Street and continue along the southern sidewalk (5-foot-clear width) to eventually meet up with the SRT after passing The Grande approximately 1,000 feet to the west. Along this proposed route, trail users will cross four vehicular crossings. We understand from Ms. Nardo that this detour will be in place during daily work hours while allowing trail use in the evenings for a period of approximately 4 to 5 months. At a later point in the project schedule when the trail is being realigned, it will be closed entirely for approximately 3 weeks. MCPC would like to reiterate our desire that the trail closures be as limited as possible in order to prevent trail users from having to navigate 4 vehicular trail crossings which pose as safety issues for trail users.

NEW STATION

1. Landscape

Grass Areas: Sheets C800 and C801 both entitled as "Landscape Plan" and dated January 28, 2020 indicate that all landscaped areas outside of the bio-retention basins, will be planted with grass. Red maple trees are proposed in some of the grass areas on the southern side of the station. MCPC recommends that in place of turf grass, a mixture of native groundcovers and grasses be used resulting in less maintenance, better stormwater infiltration, and a more visually pleasing landscape that also provides some habitat value.

2. Tree Choice: The landscape plans indicate that only one type of tree, red maples, would be used throughout. While red maples are a good selection, we recommend that the applicant consider adding one or two tree species for greater diversity in the event that a future pest or disease could attack red maples.
3. Bio-Retention Basins: Sheets C800 and C801 both entitled as "Landscape Plan" and dated January 28, 2020 indicate that the bio-retention basin areas will be mulched and planted with a combination of Winterberry and Redstem Dogwood shrubs. MCPC recommends that the basins also be planted with a variety of native grasses, sedges, and perennials resulting better stormwater infiltration, better filtration for water quality, and a more visually pleasing landscape that also provides some habitat value. We suggest that the applicant refer to MCPC's "Sustainable Green Parking Lots" publication for a list of recommended plants for bio-retention areas. The publication may be accessed here:
https://www.montcopa.org/DocumentCenter/View/9735/Green-Sustainable-Parking-Guide-2_10_2016-Web?bidId=.

D. Bicycle Parking

1. The Architectural Plans indicate that 4 bike hoops would be located beneath a freestanding bike shelter on the northern (outbound) side of the station and 6 bike hoops would be located beneath a covered plaza on the southern (inbound) side of the station. With the assumption that two bikes could be parked at each bike hoop, the proposed 10 hoops would accommodate a total of 20 bikes. MCPC recommends that the applicant explore ways to provide additional bicycle parking in order to accommodate a greater amount of bicycle parking at the station. An alternative rack design may be able to accommodate more bikes and/or adding additional bicycle parking in areas that are not covered may be worth exploring.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal although the revisions recommended in this letter would better achieve the Borough's planning goals and objectives as outlined in the *2018 Conshohocken Borough Comprehensive Plan Update* and as required by the Borough's Code.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number 20-0071-001 on any plans submitted for final recording.

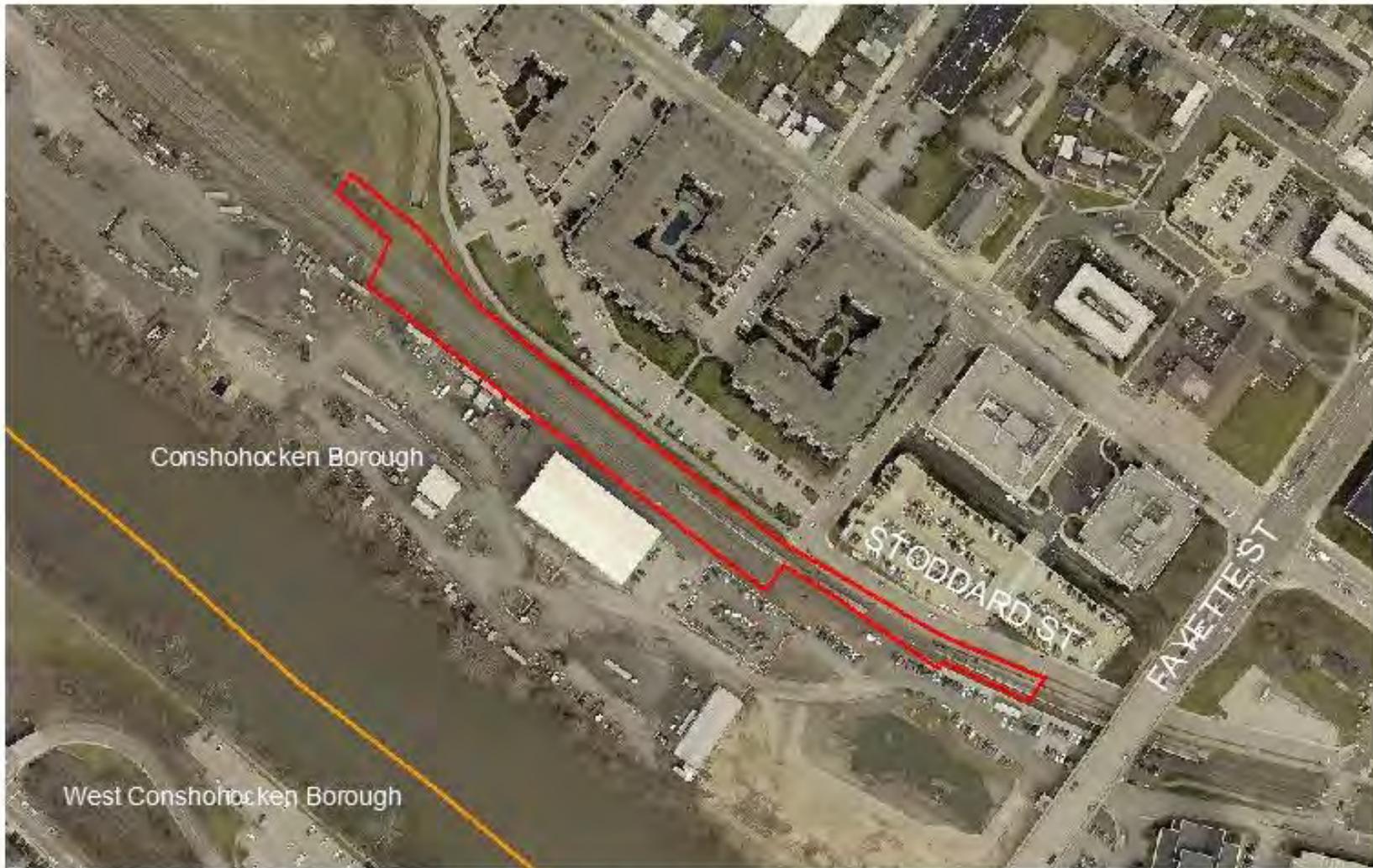
Sincerely,



Ellen Miramontes, PLA, Trails and Open Space Planner II
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Michael S. Gill, Esquire, Buckley, Brion, McGuire & Morris LLP, Applicant's Representative
Alicia A. Nardo, Architecture Project Engineer, SEPTA
Stephanie Cecco, Borough Manager
Karen MacNair, Borough Engineer
Michael Peters, Borough Solicitor
Stacy Ellam, Borough Planning Commission Chair
Jessica Buck, District Manager, Montgomery County Conservation District
David B. Clifford, Parks Administrator, Montgomery County Division of Parks, Trails, and Historic Sites

Attachments: Aerial Photograph
Site Plan



**New Conshohocken Regional
Rail Station**
MCPC #200071001

Montgomery
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Planning
Commission
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Year 2017 aerial photography provided by Pictometry

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