



BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR

Yaniv Aronson

BOROUGH COUNCIL

Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

NOVEMBER 20, 2023, ZONING HEARING BOARD MEETING PACKET

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BOROUGH OF CONSHOHOCKEN

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Stephanie Cecco
Borough Manager

ZONING NOTICE APRIL 17, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-03

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on April 17, 2023, at 7:00 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: TS 16, LLC
15 St. Asaphs Road, Bala Cynwyd, PA 19004

PREMISES INVOLVED: 5 Colwell Lane
Conshohocken, PA 19428
LI - Limited Industrial District/Research
FP - Floodplain Conservation District

OWNER OF RECORD: TS 16, LLC
15 St. Asaphs Road, Bala Cynwyd, PA 19004

The petitioner is appealing a zoning enforcement notice and seeking a variance from Sections 27-817.H.(2), 27-817.H.(3), 27-1404.9, 27-1714 and 27-1726.1F of the Conshohocken Zoning Ordinance related to outdoor storage of materials and materials that may be transferred off the lot by natural causes or forces within the floodplain conservation overlay district. The petitioner is proposing continuation of an existing nonconforming use under Section 27-701.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Zoning Application

Application: 2-2023-03
Date Submitted: 2/10/23
Date Received: 2/10/23

1. Application is hereby made for:

Special Exception Variance

Appeal of the decision of the zoning officer

Conditional Use approval Interpretation of the Zoning Ordinance

Other Continuation of Non-Conforming Use

2. Section of the Zoning Ordinance from which relief is requested:

27-817H(2), 27-817H(3), 27-1404.9, 27-1714 and 1726.1.F

3. Address of the property, which is the subject of the application:

5 Colwell Lane, Conshohocken, PA

4. Applicant's Name: TS 16 LLC

Address: 15 St. Asaphs Road

Phone Number (daytime): 610 888 3035

E-mail Address: soldonmike@gmail.com

5. Applicant is (check one): Legal Owner Equitable Owner ; Tenant

6. Property Owner: TS 16, LLC

Address: 15 St. Asaphs Road, Bala Cynwyd, PA 19004

Phone Number: 610 888 3035

E-mail Address: soldonmike@gmail.com

7. Lot Dimensions: irregular Zoning District: LI-Limited Industrial

8. Has there been previous zoning relief requested in connection with this Property?

Yes No If yes, please describe.

None by current owner. Prior zoning history is not known.

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

The property is an irregularly shaped lot, 1.103 acres in size improved with a 1 story masonry garage building of approx 1650 Square feet in area. The property is used as a contractor's office with storage and parking and as contractor's yards for two other businesses. See Deed, Exhibit "A", Survey, Exhibit "B."

10. Please describe the proposed use of the property.

Same as above.

11. Please describe proposal and improvements to the property in detail.

None proposed.

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

Applicant appeals the determination of the Zoning Officer dated January 12, 2023, attached as Exhibit C. See paragraph 14, below. Additionally, the current use should be permitted as a continuation of the pre-existing non conforming use, applicant seeks a variance from the provisions of the ordinance per Section 2, above and applicant is awaiting copies of flood maps from FEMA to ascertain the accuracy of the conclusions of the Zoning Officer. Applicant reserves all rights and remedies at law and in equity including those afforded by the Pennsylvania and United States Constitutions.

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property: Most of the property is located within the flood plain district based upon the maps relied upon by the Borough staff.

b. How the Zoning Ordinance unreasonably restricts development of the property:

The property has historically been used as an office and storage yard and that use should be permitted to continue. The use of the property pre-dates the provisions of the zoning code relating to floodplains. The property cannot be reasonably adapted to another use, without complete redevelopment. The property's current use is entirely consistent with the neighboring properties and the actions of the enforcement officer concerning this property are inconsistent with the actions of the zoning officer concerning other similar properties.

c. How the proposal is consistent with the character of the surrounding neighborhood. _____

The current use is entirely consistent with the LI zoning district and with neighboring uses as well as the uses in other flood plain areas in the borough.

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed.

Applicant seeks approval to use the property in manner consistent with historical uses of the property and neighboring properties.

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.

a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

By way of example and not limitation Code sections 27-817 h(2), 27-817 h (3), 27-1409.9, 27-1714 and 27-1726.1 F. See letter of January 12, 2023, Exhibit "C". The zoning officer also references Chapter 13 concerning "Licenses, Permits and General Business Regulations all of which are disputed.

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

By way of example and not limitation, the zoning officer's determinations are in error as follows: 27-817 H(2)- the property is not used for outdoor storage of "fuel, raw materials and products." Rather is used as a contractors office and storage as permitted in the LI district consistent with many other neighboring properties. 27-817 h (3) There are no materials which may be transferred off the lot by "natural forces". 27-1404.9- The use of the property complies with applicable law and regulation. 27-1714 It is unclear which of the 11 provisions of this section the zoning officer contends applicant has violated. 27-1726.1 F Applicant is not aware of any "buoyant, flammable or explosive" material stored on the property. Chapter 13- This is not the zoning code and the zoning officer's reference thereto in a notice of zoning violation is improper. By way of

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

Appeal from zoning officer's determination 27-307, 27-605 and for variance, in the alternative and for continuation of non-conforming use 27-701 et seq.

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

All sections referenced by the zoning officer in Exhibit "C"

c. Please describe in detail the reasons why the requested relief should be granted.

See all prior responses

16. If the applicant is being represented by an attorney, please provide the following information.

a. Attorney's Name: Daniel S. Coval, Jr., Esquire

b. Address: 15 St. Asaphs Road, Bala Cynwyd, PA 19004

c. Phone Number: 610 617 1776

d. E-mail Address: dcoval@amillerlaw.com

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.

TS 16, LLC

Applicant

Michael Reed

Legal Owner

10 February, 2023

Date

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF MONTGOMERY

As subscribed and sworn to before me this 10th day of

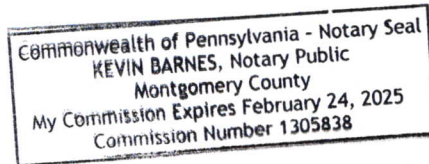
February, 2023

10th
February

[Signature]

Notary Public

(Seal)





BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Decision

(For Borough Use Only)

Application Granted

Application Denied

MOTION:

CONDITIONS:

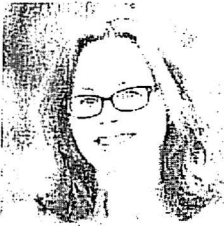
BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

DATE OF ORDER: _____

Exhibit “A”

Deed



DEED BK 6032 PG 00240 to 00242.1
 INSTRUMENT # : 2017007630
 RECORDED DATE: 01/27/2017 10:45:13 AM



3434607-0006Q

RECORDER OF DEEDS
 MONTGOMERY COUNTY
 Jeanne Sorg

One Montgomery Plaza
 Swede and Airy Streets ~ Suite 303
 P.O. Box 311 ~ Norristown, PA 19404
 Office: (610) 278-3289 ~ Fax: (610) 278-3869

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 4


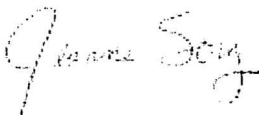
Document Type: Deed	Transaction #: 3510441 - 1 Doc (s)
Document Date: 01/17/2017	Document Page Count: 2
Reference Info:	Operator Id: msanabia

RETURN TO: (Wait) MONTGOMERY COUNTY TAX CLAIM BUREAU ONE MONTGOMERY PLAZA SUITE 610 NORRISTOWN, PA 19401	PAID BY: MONTGOMERY COUNTY TAX CLAIM BUREAU
--	---

PROPERTY DATA:

Parcel ID #: 05-00-00108-00-4
 Address: 5 COLWELL LN
 PA
 Municipality: Conshohocken Borough (100%)
 School District: Colonial

ASSOCIATED DOCUMENT(S):

CONSIDERATION/SECURED AMT: \$300,000.00	DEED BK 6032 PG 00240 to 00242.1
TAXABLE AMOUNT: \$290,941.00	Recorded Date: 01/27/2017 10:45:13 AM
FEES / TAXES:	I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.
Recording Fee: Deed \$95.00	 
Oath Affidavit Fee \$1.50	
State RTT \$2,909.41	
Conshohocken Borough RTT \$1,454.70	
Colonial School District RTT \$1,454.71	
Total: \$5,915.32	

Jeanne Sorg
 Recorder of Deeds

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.
 *COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL

Case# 2017-03193-0 Docketed at Montgomery County Recorder of Deeds Office on 02/16/2017 09:46 AM Fee \$11.00

Prepared by: Montgomery County Tax Claim Bureau
Returned To: Montgomery County Tax Claim Bureau
Parcel No. 05-00-00108-00-4

RECORDER OF DEEDS
MONTGOMERY COUNTY

2017 JAN 27 A 9 22

**TAX CLAIM BUREAU DEED
UPSET SALE**

This Deed Made this 17th day of January, 2017
Between the TAX CLAIM BUREAU, of the County of Montgomery, Pennsylvania, as Trustee,
Grantor, and

**TS 16, LLC
15 ST. ASAPHS ROAD
BALA CYNWYD, PENNSYLVANIA 19004**

GRANTEE, his, her or their heirs, assigns, and successors.

Witnesseth, that in consideration of \$300,000.00 in hand paid, receipt whereof is hereby
acknowledged, the said Grantor does hereby grant and convey unto the said Grantee, his, her,
their heirs, assigns and successors, in accordance with the Real Estate Tax Sale Law of July 7,
1947, P.L. 1368, as amended, (72 P.S. 5860.101 et seq.)

ALL THAT CERTAIN PROPERTY SITUATE AND BEING KNOWN AS

**BLOCK 006 UNIT 030
5 COLWELL LN
Conshohocken
County of Montgomery
Commonwealth of Pennsylvania
Parcel No. 05-00-00108-00-4**

"Being the property formerly owned or reputed to be owned by WRUBEL BERENICE, the
same having been sold at Upset Sale held on September 22, 2016 under the provisions of the
Real Estate Tax Sale Law.

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
05-00-00108-00-4 CONSHOHOCKEN
5 COLWELL LN

WRUBEL BERENICE
B 006 U 030 L 4280 DATE: 01/27/2017

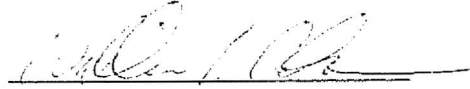
\$15.00
TG

{00488826;v1}

Case# 2017-03193-0 Docketed at Montgomery County Prothonotary on 02/16/2017 9:36 AM, Fee = \$270.00

In Witness Whereof, said Grantor has hereunto caused this Deed to be executed by its Director the day and year first above written.

Tax Claim Bureau of Montgomery County, Trustee



First Deputy Director of Tax Claim

COMMONWEALTH OF PENNSYLVANIA }ss:
COUNTY OF MONTGOMERY

On this, the 19th day of January, 2016, before me, the undersigned officer, personally appeared William Caldwell, First Deputy Director of the Tax Claim Bureau of the County of Montgomery, Commonwealth of Pennsylvania, known to me to be the person described in the foregoing instrument and acknowledged that he executed the same in the capacity therein stated and for the purpose therein contained

In Witness Whereof, I have hereunto set my hand and official seal.

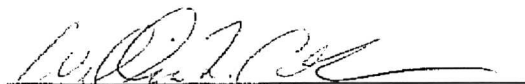


PROTHONOTARY

CERTIFICATE OF RESIDENCE

I hereby certify that the precise residence of the Grantee herein is:

**TS 16, LLC
15 ST. ASAPHS ROAD
BALA CYNWYD, PENNSYLVANIA 19004**

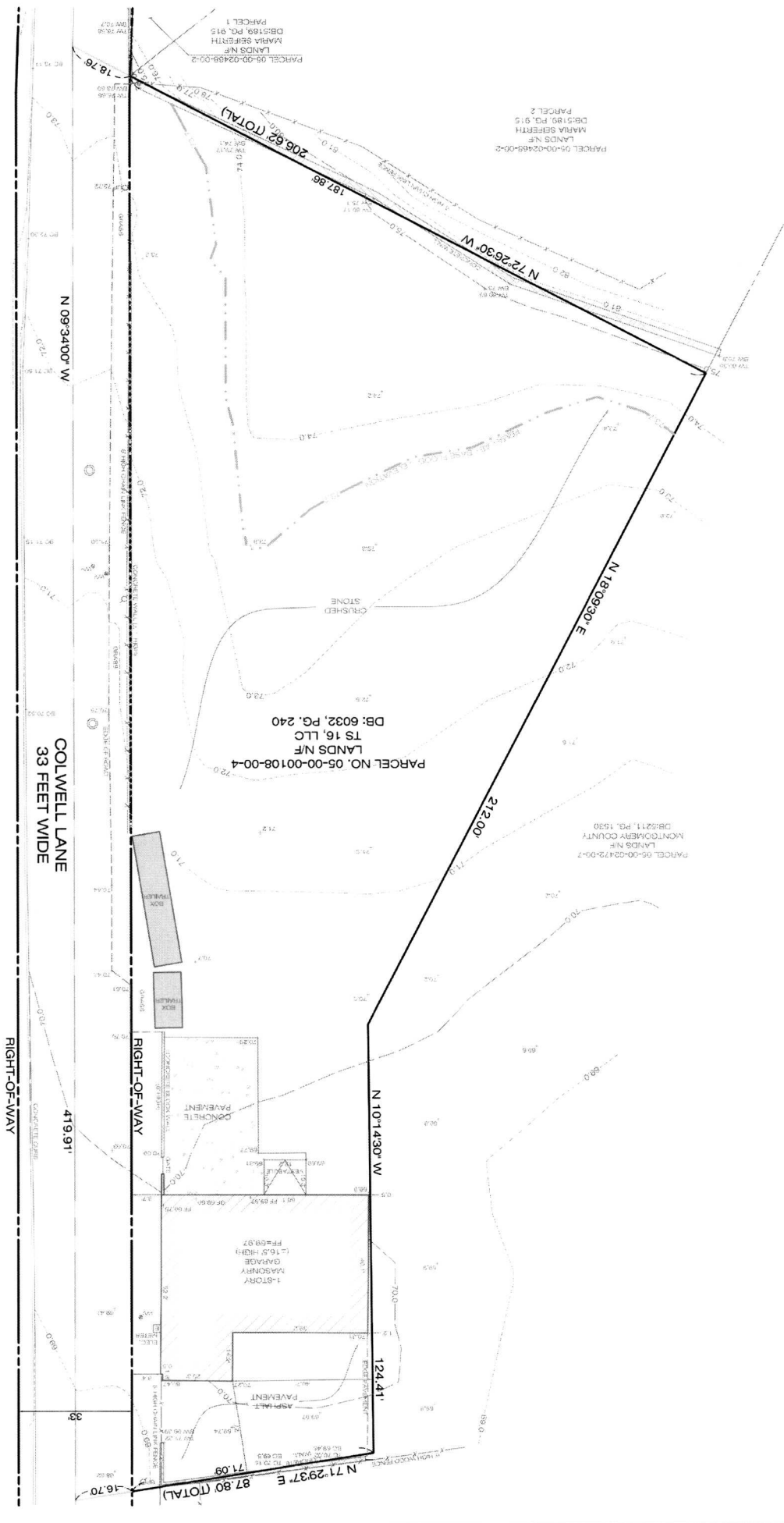


For the Grantee

Case# 2017-03193-0 Docketed at Montgomery County Prothonotary on 02/16/2017 9:36 AM, Fee = \$270.00

Exhibit “B”

Survey



PARCEL 1
 MARIA SHERBETH
 LANDS N/F
 DB:5189, PG. 915
 PARCEL 05-00-02469-00-2

PARCEL 2
 MARIA SHERBETH
 LANDS N/F
 DB:5189, PG. 915
 PARCEL 05-00-02469-00-2

206.62 (TOTAL)

N 72°26'30" W

N 18°09'30" E

212.00

PARCEL NO. 05-00-00108-00-4
 LANDS N/F
 TS 16, LLC
 DB: 6032, PG. 240

PARCEL 06-00-02472-00-7
 LANDS N/F
 MONTGOMERY COUNTY
 DB:5211, PG. 1530

N 09°34'00" W

COLWELL LANE
 33 FEET WIDE

RIGHT-OF-WAY

419.91'

RIGHT-OF-WAY

N 10°14'30" W

124.41'

N 71°29'37" E
 87.80 (TOTAL)

33'

16.70'

1-STORY
 GARAGE
 1-10.5' HIGH
 PF=69.97

CONCRETE
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Exhibit “C”
Zoning Officer’s Letter



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

MAYOR

Yaniv Aronson

BOROUGH COUNCIL

Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serma, Member
Karen Tutino, Member

Stephanie Cocco
Borough Manager

SENT VIA CERTIFIED MAIL AND U.S. MAIL

January 12, 2023

TS 16, LLC
15 St. Asaphs Road
Bala Cynwyd, PA 19004

Re: **5 Colwell Lane**
ZONING ENFORCEMENT NOTICE

Please be advised, the subject property is in violation of the terms of the Borough Zoning Code. Specifically, all objects located on a property within the Floodplain Conservation District pose a potential risk to human, animal, and plant life by impounding floodwater and raising flood elevations. Additionally, any object that is not permanently affixed to the ground can be washed away by floodwaters, creating a safety hazard by obstructing and/or contaminating waterways. Therefore, all objects that are in violation of the outlined ordinances shall be removed from the property.

Based on visual observations from our Building Codes Inspector, there are materials currently stored on-site; including but not limited to, box trailers, large cable/wire spools, port-o-potties, and trash dumpster. Along with these unsecured materials, with the exception of the trash dumpster, there are contractor company vehicles that are parked on-site and which are not accessory to the current landscaping business; and therefore, is in violation of *Chapter 13 – Licenses, Permits, and General Business Regulations* of Conshohocken Borough's Code of Ordinances since there are no record of licensing nor permits of the additional use for the lot in the Borough records.

In addition, an unscreened outdoor trash dumpster has been placed adjacent the entrance to the existing building for the current landscaping business. The trash dumpster must be placed inside the building.

All unsecured materials observed on-site are located within the Floodplain Conservation District. Therefore, the property remains in violation of Zoning Code Sections 27-817.H(2) and (3), -1404.9, -1714, and -1726.1.F.

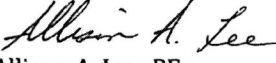
By **February 13, 2023**, you must come into compliance with the Borough ordinance by removing all existing box trailers and unsecured materials from within the Floodplain Conservation District.

YOU HAVE THE RIGHT TO APPEAL TO THE ZONING HEARING BOARD WITHIN 30 DAYS OF RECEIPT OF THIS NOTICE.

YOUR FAILURE TO COMPLY WITH THIS NOTICE WITHIN THE TIME SPECIFIED UNLESS EXTENDED BY APPEAL TO THE ZONING HEARING BOARD CONSTITUTES A VIOLATION OF THE ZONING ORDINANCE WHICH MAY RESULT IN A JUDGEMENT AGAINST YOU OF \$500.00 PLUS ALL COURT COSTS AND REASONABLE ATTORNEY RESULT IN A JUDGEMENT AGAINST YOU OF \$500.00 PLUS ALL COURT COSTS AND REASONABLE ATTORNEY FEES INCURRED BY THE BOROUGH. EACH DAY THAT THE VIOLATION CONTINUES MAY CONSTITUTE A SEPARATE VIOLATION.

If you have any questions or concerns, please feel free to contact the undersigned at 484-243-6073 or zoning@conshohockenpa.gov.

Sincerely,


Allison A. Lee, PE
Zoning Officer
PENNONI ASSOCIATES INC.

cc: Ray Sokolowski
Stephanie Cecco
Chris Small



BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

ZONING NOTICE AUGUST 21, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-15

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on August 21, 2023, at 7:00 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: TS 16, LLC
15 St. Asaph's Road, Bala Cynwyd, PA 19004

PREMISES INVOLVED: 5 Colwell Lane
Conshohocken, PA 19428
LI - Limited Industrial District/Research
FP - Floodplain Conservation District

OWNER OF RECORD: TS 16, LLC
15 St. Asaph's Road, Bala Cynwyd, PA 19004

The petitioner is appealing the three (3) zoning Use & Occupancy permit application denials for the site and is seeking a Special Exception pursuant to Sections 27-703.B & E and a Variance from Sections 27-1713, 27-1703, 27-817.H.(3), 27-1402, 27-1714.1.A & H, 27-1713, 27-1717, 27-1718, 27-1718.2, and 27-1718.3 of the Conshohocken Zoning Ordinance related to multiple uses permitted on the site; outdoor storage of materials and materials that may be transferred off the lot by natural causes or forces; and variance conditions within the floodplain conservation overlay district. The petitioner is proposing continuation of an existing nonconforming status of the site under Part 7 of the Zoning Ordinance.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Zoning Application

Application: Z-2023-15
Date Submitted: 7/20/23
Date Received: 7/20/23

1. Application is hereby made for:

Special Exception Variance

Appeal of the decision of the zoning officer

Conditional Use approval Interpretation of the Zoning Ordinance

Other Continuation of a non-conforming use

2. Section of the Zoning Ordinance from which relief is requested:

See attached.

3. Address of the property, which is the subject of the application:

5 Colwell Lane, Conshohocken, PA

4. Applicant's Name: TS 16, LLC

Address: 15 St. Asaph's Road, Bala Cynwyd, PA 19004

Phone Number (daytime): (610) 888-3035

E-mail Address: soldonmike@gmail.com

5. Applicant is (check one): Legal Owner Equitable Owner ; Tenant

6. Property Owner: TS 16, LLC

Address: 15 St. Asaph's Road, Bala Cynwyd, PA 19004

Phone Number: (610) 888-3035

E-mail Address: soldonmike@gmail.com

7. Lot Dimensions: Irregular Zoning District: L1 - Limited Industrial

8. Has there been previous zoning relief requested in connection with this Property?

Yes No If yes, please describe.

There is a pending Zoning Application filed February 10, 2023, appealing a January 12, 2023 determination of the Zoning Officer and requesting other relief.

That appeal is designated 7-2023-03. This Application should be made part of that application or, in the alternative, consolidated with it.

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

See attached Supplement to Application.

10. Please describe the proposed use of the property.

See attached Supplement to Application.

11. Please describe proposal and improvements to the property in detail.

See attached Supplement to Application.

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

See attached Supplement to Application.

13. If a Variance is being requested, please describe the following:

See attached Supplement to Application.

a. The unique characteristics of the property: _____

b. How the Zoning Ordinance unreasonably restricts development of the property:

c. How the proposal is consistent with the character of the surrounding neighborhood. _____

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed.

14. The following section should be completed if the applicant is contesting the determination of the zoning officer. See attached Supplement to Application.
- a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

15. If the Applicant is requesting any other type of relief, please complete the following section. See attached Supplement to Application.

a. Type of relief that is being requested by the applicant.

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

c. Please describe in detail the reasons why the requested relief should be granted.

16. If the applicant is being represented by an attorney, please provide the following information.

a. Attorney's Name: Daniel S. Coval, Jr., Esquire

b. Address: 15 St. Asaph's Road, Bala Cynwyd, PA 19004

c. Phone Number: (610) 617-1776

d. E-mail Address: dcoval@amillerlaw.com

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.

TS 16, LLC

Applicant

Nicole Bauer 7-19-23

Legal Owner

Date

COMMONWEALTH OF PENNSYLVANIA

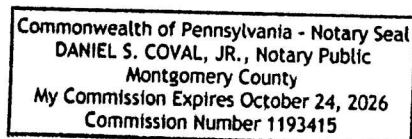
COUNTY OF MONTGOMERY

As subscribed and sworn to before me this 19th day of

July 2023

[Signature]
Notary Public

(Seal)





BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Decision

(For Borough Use Only)

Application Granted

Application Denied

MOTION:

CONDITIONS:

BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

DATE OF ORDER: _____

SUPPLEMENT TO ZONING APPEAL
APPEAL OF TS 16, LLC
Property at 5 Colwell Lane, Conshohocken, PA

The following Supplement includes the information requested in the Zoning Application. The numbered paragraphs of this Supplement conform with the printed form Zoning Application.

9. Please describe the present use of the property, including any existing improvements, and the dimensions of any structures on the property.

The property is an irregularly shaped lot, 1.103 acres in size, improved with a one-story masonry garage building with a footprint of approximately 3,300 square feet. The building has a vestibule and there are paved areas adjacent to the building. There is also a small trailer and porta potties on the site. The building is used for storage and office by a landscaping contractor, with adjacent parking, and has been used for similar uses for many years. Other areas of the property are used by two contractor tenants for parking and dispatch of vehicles. The property is divided into three areas by owner, designated A, B and C, as shown on the attached Plan, which are leased to the tenants.

10. Please describe the proposed use of the property.

No change of the present use is proposed. Rather, Applicant seeks approval of the present use(s).

11. Please describe proposal and improvements to the property in detail.

No improvements are proposed. Applicant appeals the determinations of the Zoning Officer, who denied applications for use and occupancy permits for each of the the three uses. Applicant asserts that the current use(s) of the property should be permitted for the reasons set forth at length in this Application. A copy of the Deed of January 17, 2017, vesting title to the property in Applicant, is attached as Exhibit “A”. A copy of a site plan of the property is attached as Exhibit “B”.

12. Please describe the reasons Applicant believes that the requested relief should be granted.

Applicant appeals three determinations of the Zoning Officer dated June 22, 2023, which are attached as Exhibits C-1, C-2 and C-3. The Zoning Officer’s decisions denied applications by the Applicant for use and occupancy permits for the property. In the alternative to appealing the zoning officer’s determination, the Applicant seeks variances to allow the uses, if required, and also asserts that the uses are non-conforming uses which are entitled to remain and seeks a special exception, if necessary, to expand the non-conforming use. The determinations made in each of the Zoning Officer’s letters are addressed separately as follows:

C-1 – Novvex Green, LLC d/b/a Patkin Landscaping – Permit Application # 23-00427

The Applicant agrees with the Zoning Officer’s determination that the current use of the Property by Novvex Green, LLC, d/b/a Patkin Landscaping (“Patkin”) is a pre-

existing, non-conforming use which may continue. To the extent that the Zoning Officer's determination is that the use of the property by Patkin is other than a lawful use, Applicant appeals that determination. To the extent that the Zoning Officer's determination is interpreted to hold that any portion or aspect of the use of the property by Patkin is unlawful because it violates the Code or is outside of the scope of the pre-existing non-conformity, Applicant challenges that determination and, in the alternative, requests variance(s) to allow the current use to remain.

Applicant challenges the Zoning Officer's determination that the non-conforming use does not extend to the entire tract, if that is her determination. In the alternative, Applicant requests a variance from Section 27-1713 of the Borough Zoning Ordinance (the "Code"), and any other applicable provisions, to permit the existing use in the Floodplain Conservation District ("FCD").

Applicant appeals the Zoning Officer's determination that the existing trash dumpster located outside the building may be transferred off the property by natural causes or force and therefore is in violation of Section 27-817.H(3) of the Code. In the alternative, if it is determined that the dumpster violates the Code, Applicant seeks a variance from Section 27-817.H(3) of the Code to allow the dumpster to remain.

Applicant also appeals the Zoning Officer's determination that, since the Borough of Conshohocken "does not have record of the portion of the property identified in the permit application as Section "A" and no outdoor storage of materials or waste may be transferred off the lot by natural causes or forces is permitted, the permit application is denied at this time". Applicant appeals the denial of the permit for the use. In the

alternative, Applicant avers that the current use by Patkin is permitted as the continuation of a pre-existing, non-conforming use. In the alternative, and if necessary, Applicant requests a variance from the Code Section 27-1713 and any other provisions of the Code cited in the letter to allow the described use.

C-2 – Safe Zone Line Services, LLC – Permit Application # 23-00428

Applicant appeals the Zoning Officer’s determinations in her letter of June 22, 2023, attached hereto as C-2, relating to the use and occupancy permit application for Safe Zone Line Services, LLC (“Safe Zone”). Applicant appeals the Zoning Officer’s determinations as follows.

Applicant appeals any implied determination by the Zoning Officer that portions of this commercial zoned property cannot be leased to or used by more than one entity. Applicant has leased portions of this property to three separate tenants, each of whom occupies a designated area. Nothing in the Zoning Code prohibits the occupancy of a commercial property by more than one tenant or requires subdivision of a property to permit multiple uses. To the extent that the Zoning Code prohibits use of a single property by multiple tenants, Applicant seeks a variance from any applicable provisions of the Code, which Code sections are not cited by the Zoning Officer, to permit the use.

Applicant appeals the Zoning Officer’s characterization of the extent of the FEMA floodplain on the property and will show the actual extent of the floodplain through evidence presented at hearing. Therefore, Applicant appeals the Zoning Officer’s determination that, in accordance with Sections 27-1702.1 and 27-1709.1.B, the entirety of the property is subject to the FP – Floodplain Conservation Overlay District.

Applicant agrees with the Zoning Officer's determination that the use of the property by Safe Zone, for parking of vehicles, and as an area for staging and dispatching of its vehicles, is a "warehouse, storage or distribution center". See Code 27-1402.F and I (use of the "same general character" permitted). Applicant also asserts that prior owners of the property had used the entire property for parking and dispatch of commercial vehicles, and this use is a pre-existing, non-conforming use, or a use of the same general character as the pre-existing, non-conforming use and is entitled to continue pursuant to Part 7 of the Zoning Code, 27-701 – 27-704. To the extent it is determined that the pre-existing, non-conforming use did not extend throughout the portion of the Property occupied by Safe Zone, then Applicant seeks a special exception for other required relief pursuant to Code Section 27-703(A), (B), (D) and (E), and applicable law, extension or expansion of that use. To the extent the Zoning Officer has determined that the current use is different than the pre-existing, non-conforming use, then Applicant appeals that determination and, in the alternative, seeks a special exception pursuant to Code § 27-703(B) to change to a non-conforming use which is equally appropriate or more appropriate to the LI District and is no more detrimental. In the alternative, Applicant seeks a variance from Sections 27-1402, 27-1713 and 27-1703, and any other Code section set forth in the Zoning Officer's letter, as appropriate, to allow the use of the property by Safe Zone as currently conducted.

Applicant appeals the determination of the Zoning Officer that the existing trailers, equipment (which term is not further defined), porta-potty, and loose materials on the site are in violation of Section 27-817.H(3) of the Code and must be removed. In the

alternative, Applicant seeks a variance from Code Section 27-817.H(3) to allow those items to remain on the property.

Applicant appeals the Zoning Officer's determination that, pursuant to Section 27-1714.1(A) and (H) of the Code, the use by the Applicant is a parking lot or otherwise prohibited within the Floodplain Conservation District ("FCD"). In the alternative, the Applicant seeks a variance from Code Section 27-817.H(3) and 27-1714.1.A and H, and pursuant to 27-1717, 27-1718, including 27-1718(3), and any other applicable Code provisions, to permit outdoor storage of materials, permanent structures, and to utilize the site for parking and dispatch of contractor vehicles and equipment within the floodplain.

Applicant appeals the Zoning Officer's determination denying a permit for the Safe Zone use. See Exhibit C-2.

C-3, letter of June 22, 2023 regarding Asplundh Tree Expert, LLC – 5 Colwell Lane (Section C) – Permit Application # 23-00429

Applicant appeals the Zoning Officer's determinations in its letter of June 22, 2023, attached hereto as C-3, relating to the use and occupancy permit application for Asplundh Tree Expert, LLC ("Asplundh"). Applicant appeals the Zoning Officer's determinations as follows.

Applicant appeals any implied determination by the Zoning Officer that portions of this commercial zoned property cannot be leased to or used by more than one entity. Applicant has leased portions of this property to three separate tenants, each of whom occupies a designated area. Nothing in the Zoning Code prohibits the occupancy of a commercial property by more than one tenant or requires subdivision of a property to

permit multiple uses. To the extent that the Zoning Code prohibits use of a single property by multiple tenants, Applicant seeks a variance from any applicable provisions of the Code.

Applicant appeals the Zoning Officer's characterization of the extent of the FEMA floodplain on the property and will show the actual extent of the floodplain through evidence presented at hearing. Therefore, Applicant appeals the Zoning Officer's determination in accordance with Sections 27-1702.1 and 27-1709.1.B that the entirety of the property is subject to the FP – Floodplain Conservation Overlay District.

Applicant agrees with the Zoning Officer's determination that the use of the property by Asplundh, for parking of vehicles, and as an area for staging and dispatching of its vehicles, is "a warehouse, storage or distribution center", permitted within the LI – Limited Industrial District. See Code 27-1402.F and I (use of "the same general character" permitted). Applicant also asserts that prior owners of the property had used the entire property for parking and dispatch of commercial vehicles, and this use is a pre-existing, non-conforming use, and is entitled to continue pursuant to Part 7 of the Zoning Code, 27-701 – 27-704. To the extent it is determined that the pre-existing, non-conforming use did not extend throughout the portion of the Property occupied by Asplundh, then Applicant seeks a special exception or other required relief pursuant to Code Section 27-703(A), (B), (D) and (E), and applicable law, to permit an extension or expansion of the pre-existing, non-conforming use. In the alternative, Applicant seeks a variance from Sections 27-1402, 27-1713 and 27-1703, and any other Code section set

forth in the Zoning Officer's letter, as appropriate, to allow the use of the property by Asplundh as currently conducted.

Applicant appeals the determination of the Zoning Officer that the existing portapotty is in violation of Section 27-817.H(3) of the Code and must be removed. In the alternative, Applicant seeks a variance from Code Section 27-817.H(3) to allow the portapotty to remain.

Applicant appeals the Zoning Officer's determination that, pursuant to Section 27-1714.1(A) and (H) of the Code, the use by the Applicant is a parking lot or otherwise prohibited within the Floodplain Conservation District. In the alternative, the Applicant seeks a variance from Code Section 27-817.H(3) and 27-1714.1.A and H, and pursuant to 27-1717, 27-1718, including 27-1718(3), and any other applicable Code provisions, to permit outdoor storage of materials, and to utilize the site for parking, permanent structures, and dispatch of contractor vehicles and equipment within the floodplain.

Applicant appeals the Zoning Officer's determination denying a permit for the Asplundh use. See Exhibit C-3.

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property:

A substantial portion of the property is located within the Floodplain Conservation District based upon the maps relied upon by the Borough staff. However, Applicant believes that most, if not all, of the property is located within the floodplain fringe, or outside the floodplain, and is not subject to flooding. The location of the property within

the FCD is a unique characteristic of the property which unduly impacts its use and development.

b. How the Zoning Ordinance unreasonably restricts development of the property:

The property has historically been used as an office, warehouse and storage yard and that use should be permitted to continue. The use of the property predates the enactment of the provisions of the Zoning Code establishing the FCD. The property cannot reasonably be adapted to another use, without complete redevelopment. No use permitted within the floodplain is viable for the property and therefore the property will suffer a hardship if relief is not granted. The current use of the property is entirely consistent with the use of neighboring properties. The actions of the enforcement officer concerning this property are inconsistent with the actions of the zoning officer concerning other similar properties in this area and in the Borough.

c. How the proposal is consistent with the character of the surrounding neighborhood:

The current use is entirely consistent with the LI Zoning District and with neighboring uses as well as uses within the FCD areas in the Borough. The use is less intensive than others permitted in the FCD. The property, and the neighborhood, consists of similar, if not more intensive, commercial uses. The current use of the property is permitted in the LI District or is "of the same general character" as permitted uses and is not a prohibited use. See Code § 27-1402(I). The use of the property as proposed will not adversely affect public health, safety of the general welfare. There are no residential uses which are proximate to this property. There is substantial and unimpeded access to

and from the property. The proposed use of the property will not overburden municipal services, increase the Base Flood Elevation beyond the level permitted by the Code, or cause any impact off of the property.

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.

- a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence to the determination).**

Please see the attached letters, Exhibits C-1, C-2 and C-3. Applicant incorporates its prior statements in this Application, particularly those contained in response to Section 12 above. The applicable provisions of the Zoning Ordinance which are subject to challenge are set forth in the Zoning Officer's letter and set forth previously in this application, and are also set forth in response to Sections 15a and b.

- b. Please explain in detail the reasons why you disagree with the zoning officer's determination.**

Applicant incorporates the prior sections of this Application, particularly those set forth in Section 12. In further answer, and by way of example and not limitation, the Zoning Officer's determination that the uses of the property by Safe Zone and Asplundh are not permitted, non-conforming uses or reasonable continuations or extensions of the pre-existing uses is in error. The Zoning Officer's implied determination that no more than one tenant or entity may be permitted to occupy this property is an error. There is no provision in the Zoning Code which prohibits multiple tenants at the same commercial property. The Zoning Officer's determination relating to the flood zone of the property is

incorrect and the dimensions and nature of the floodplain will be shown by engineering testimony. The Zoning Officer's determination that the trailer, equipment, porta-potty and other materials are subject to being transferred off the lot by natural causes or forces is not correct. See 27-817.H(3). Further, the Applicant will demonstrate that the existing uses of the property, and these same proposed uses, do not result in an increase in the Base Flood Elevation of more than one foot at any point as required by Sections 27-1718(3), and if located in a floodway, will cause no increase in the BFE, and therefore, if required, a variance should be granted to permit the use of the property as currently exists 27-1718(2).

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

The Applicant is appealing the Zoning Officer's determinations, as indicated, and asserts that the uses of the property should be permitted as a continuation of the non-conforming use. If necessary, a special exception should be granted to permit a change of non-conforming use and expansion of the pre-existing, non-conforming use, pursuant to 27-701, 27-703. In the alternative, Applicant requests variances as previously set forth.

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

All sections referenced by the Zoning Officer in Exhibits C-1, C-2 and C-3, and previously in this Application, including the following:

- Appeal from the determinations of the Zoning Officer's letters dated June 22, 2023 attached as Exhibits C-1, C-2 and C-3.

- Variance from Section 27-1713 of the Code to permit existing uses in the Floodplain Conservation District.
- Variance, if necessary, from Code Section 27-817.H(3) to allow dumpster, trailer and porta-potty and other equipment to remain on property, for each of the tenants.
- Variance from Section 27-1402, if necessary, to permit use of property by existing tenants.
- Determination that the current uses of the property are a continuation of the previously existing, non-conforming uses.
- In the alternative, a special exception from Code Section 27-703.B and E, if required, to allow non-conforming use, which is equally appropriate or more appropriate in the LI District and is no more detrimental.
- A special exception pursuant to Code Section 27-703.B and E, and other applicable code sections, to permit expansion of existing, non-conforming use.
- Variance, if necessary, from Code Sections 27-817.H(3) and 27-1714.1(A) and (H) and any other applicable provisions to permit outdoor storage of materials and to utilize the site for parking of contractor vehicles and equipment within the floodplain.
- A variance pursuant to Code Sections 27-1713, 27-1717 and 27-1718, including 27-1718(3), to allow the existing/proposed use of the property within the floodplain.
- A variance from Section 27-1718(2) to allow for use within a floodway, if required.
- A request for relief from any other provisions of the Code referred to previously in this Application.

c. Please describe in detail the reasons why the requested relief should be granted.

The property is improved as a commercial property and has long been used for commercial purposes, as a contractor's office and for parking and storage associated with

that use. The Applicant is entitled to continue the non-conforming use of the property. The use of the property at present, by Safe Zone and Asplundh, is nothing more than a continuation of the prior, pre-existing contractor storage use. The use is reasonable and is consistent with the uses permitted in the underlying LI District.

The property, though located in a floodplain, is not subject to flooding. The proposed use will not increase the base flood elevation by more than one foot. Further, the use of the property for storage or parking of vehicles is consistent with both the LI District and the floodplain district.

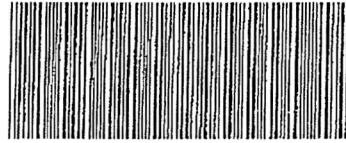
The grant of relief will not adversely affect the public health, safety or general welfare, and will cause no adverse effect. Without the grant of a variance from the floodplain regulations, this property will suffer a hardship as none of the uses permitted in the floodplain district are economically feasible for this property.

In further response, Applicant incorporates its prior statements in this Application.

EXHIBIT A



DEED BK 6032 PG 00240 to 00242.1
 INSTRUMENT # : 2017007630
 RECORDED DATE: 01/27/2017 10:45:13 AM



3434607-0006Q

RECORDER OF DEEDS
 MONTGOMERY COUNTY
 Jeanne Sorg

One Montgomery Plaza
 Swede and Airy Streets ~ Suite 303
 P.O. Box 311 ~ Norristown, PA 19404
 Office: (610) 278-3289 ~ Fax: (610) 278-3869

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 4

Document Type: Deed	Transaction #: 3510441 - 1 Doc (s)
Document Date: 01/17/2017	Document Page Count: 2
Reference Info:	Operator Id: msanabia

RETURN TO: (Wait) MONTGOMERY COUNTY TAX CLAIM BUREAU ONE MONTGOMERY PLAZA SUITE 610 NORRISTOWN, PA 19401	PAID BY: MONTGOMERY COUNTY TAX CLAIM BUREAU
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PROPERTY DATA:

Parcel ID #:	05-00-00108-00-4
Address:	5 COLWELL LN
Municipality:	PA Conshohocken Borough (100%)
School District:	Colonial

ASSOCIATED DOCUMENT(S):

CONSIDERATION/SECURED AMT: 300,000.00	DEED BK 6032 PG 00240 to 00242.1
TAXABLE AMOUNT: 290,941.00	Recorded Date: 01/27/2017 10:45:13 AM
FEES / TAXES:	I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.
Recording Fee: Deed	\$95.00
Affidavit Fee	\$1.50
State RTT	\$2,909.41
Conshohocken Borough RTT	\$1,454.70
Colonial School District RTT	\$1,454.71
Total:	\$5,915.32



Jeanne Sorg

Jeanne Sorg
 Recorder of Deeds

Case# 2017-03193-0 Docketed via 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.
 *COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL

Prepared by: Montgomery County Tax Claim Bureau
Returned To: Montgomery County Tax Claim Bureau
Parcel No. 05-00-00108-00-4

RECORDER OF DEEDS
MONTGOMERY COUNTY
2017 JAN 27 A 9 22

**TAX CLAIM BUREAU DEED
UPSET SALE**

This Deed Made this 17th day of January, 2017
Between the TAX CLAIM BUREAU, of the County of Montgomery, Pennsylvania, as Trustee,
Grantor, and

**TS 16, LLC
15 ST. ASAPHS ROAD
BALA CYNWYD, PENNSYLVANIA 19004**

GRANTEE, his, her or their heirs, assigns, and successors.

Witnesseth, that in consideration of \$300,000.00 in hand paid, receipt whereof is hereby acknowledged, the said Grantor does hereby grant and convey unto the said Grantee, his, her, their heirs, assigns and successors, in accordance with the Real Estate Tax Sale Law of July 7, 1947, P.L. 1368, as amended, (72 P.S. 5860.101 et seq.)

ALL THAT CERTAIN PROPERTY SITUATE AND BEING KNOWN AS

**BLOCK 006 UNIT 030
5 COLWELL LN
Conshohocken
County of Montgomery
Commonwealth of Pennsylvania
Parcel No. 05-00-00108-00-4**

"Being the property formerly owned or reputed to be owned by WRUBEL BERENICE, the same having been sold at Upset Sale held on September 22, 2016 under the provisions of the Real Estate Tax Sale Law.

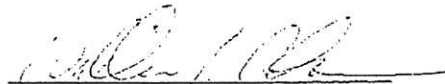
MONTGOMERY COUNTY COMMISSIONERS REGISTRY
05-00-00108-00-4 CONSHOHOCKEN
5 COLWELL LN
WRUBEL BERENICE \$15.00
B 006 U 030 L 4280 DATE: 01/27/2017 TG

{00488826;v1}

Case# 2017-03193-0 Docketed at Montgomery County Prothonotary on 02/16/2017 9:36 AM, Fee = \$270.00

In Witness Whereof, said Grantor has hereunto caused this Deed to be executed by its Director the day and year first above written.

Tax Claim Bureau of Montgomery County, Trustee



First Deputy Director of Tax Claim

COMMONWEALTH OF PENNSYLVANIA }ss:
COUNTY OF MONTGOMERY

On this, the 19th day of January, 2017, before me, the undersigned officer, personally appeared William Caldwell, First Deputy Director of the Tax Claim Bureau of the County of Montgomery, Commonwealth of Pennsylvania, known to me to be the person described in the foregoing instrument and acknowledged that he executed the same in the capacity therein stated and for the purpose therein contained

In Witness Whereof, I have hereunto set my hand and official seal.



PROTHONOTARY

CERTIFICATE OF RESIDENCE

I hereby certify that the precise residence of the Grantee herein is:

**TS 16, LLC
15 ST. ASAPHS ROAD
BALA CYNWYD, PENNSYLVANIA 19004**



For the Grantee

EXHIBIT B

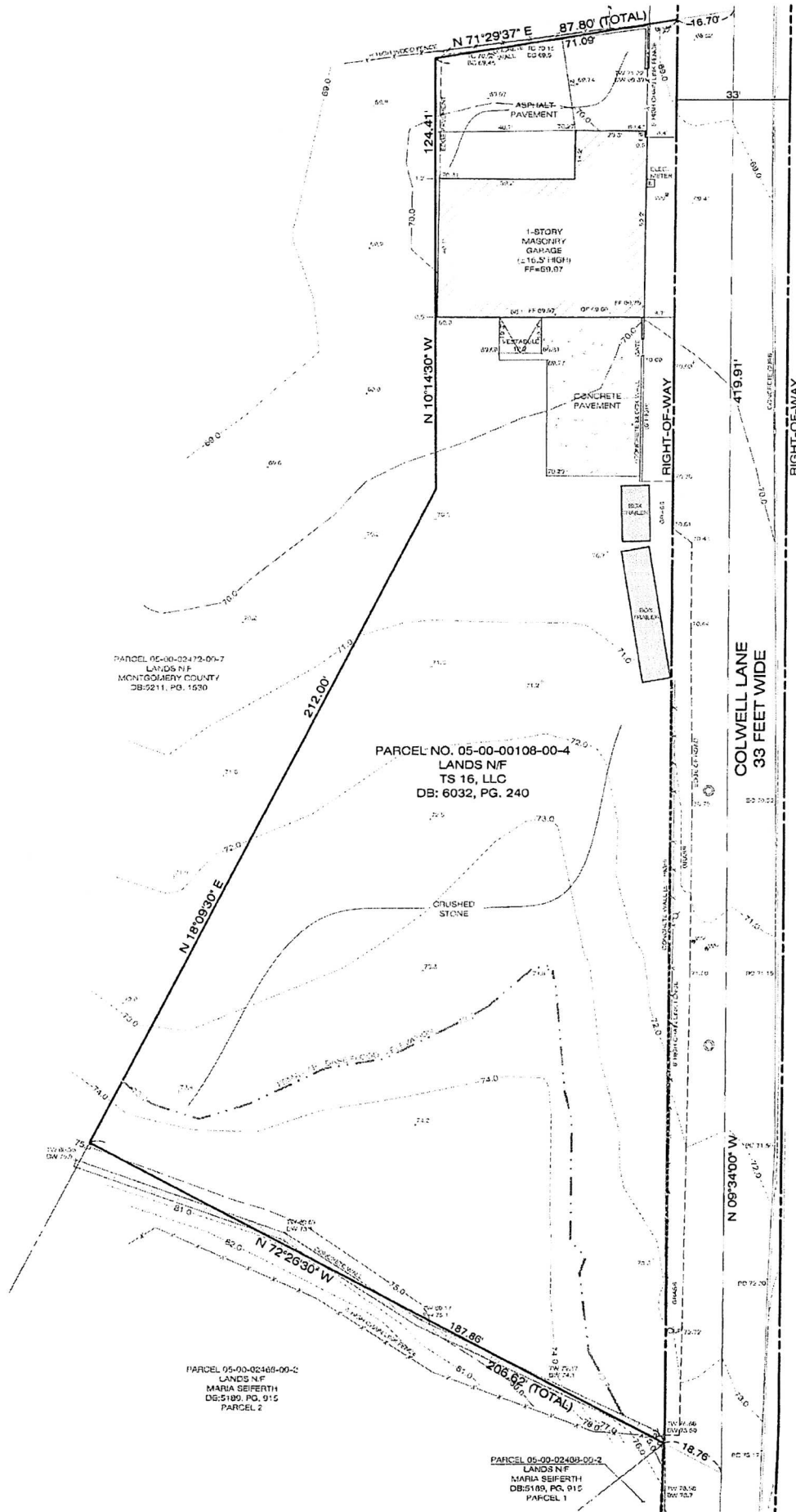


EXHIBIT C-1



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

MAYOR

Yaniv Aronson

BOROUGH COUNCIL

Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellan, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

June 22, 2023

Applicant:

Novvex Green, LLC, d/b/a Patkin Landscaping
Michael Sherick, Managing Member
613 Woodcrest Avenue
Ardmore, PA 19003

Property Owner:

TS 16, LLC
15 St. Asaphs Road
Bala Cynwyd, PA 19004

**Re: 5 Colwell Lane (Section "A")
Use and Occupancy (U&O) Permit Application #23-00427**

Conshohocken Borough is in receipt of your Use and Occupancy (U&O) Permit Application #23-00427 for Section "A" of the above referenced property. Upon review of this permit application, there is currently an active U&O permit for a landscaping business, and more specifically for a "warehouse" use to store landscaping equipment, which is utilizing the existing nonconforming building on the site. The current application states a change in tenant to "Novvex Green, LLC" (the prior application only identified the owner, TS 16, LLC). No change in use is stated. The Borough only has record of the above referenced property as one entire tract and does not have record of the portion of the above referenced property identified as Section "A" in the permit application. A site plan shall be provided documenting Section "A" of the above referenced property to accompany the U&O permit application.

The property is identified to be located within the LI - Limited Industrial District/Research. Based on the FEMA Flood Insurance Rate Map (FIRM), panel no. 42091C0358G, effective March 2, 2016, the majority of the property is located within Zone AE, which is determined by FEMA to be Special Flood Hazard areas with base flood elevations or depths defined. The remaining small sliver of the subject property along the southern property line is located within Zone X, which is determined by FEMA to be Other Areas of Flood Hazard of 0.2% annual chance flood hazard, areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile. In accordance with Sections §27-1702.1 and §27-1709.1.B of the Borough Zoning Ordinance, the property is subject to the FP - Floodplain Conservation Overlay District.

Per § 27-1402.F of the Borough Zoning Ordinance, the "warehouse, storage, or distribution center" use is a permitted use within the LI-Limited Industrial District/Research. However, per §27-1713 of the Borough Zoning Ordinance, a warehouse, storage, or distribution center use is not permitted by right within the Floodplain Conservation District. Since the above referenced property is also subject to the FP - Floodplain Conservation Overlay District the more restrictive provisions of the Zoning Ordinance shall apply in accordance with §27-1703 of the Borough Zoning Ordinance.

However, since the existing building and current use are considered nonconforming, the nonconforming status shall continue, and a property may continue to be used as nonconforming until it complies with the requirements of the Zoning Ordinance in accordance with §27-703 and §27-1715 of the Borough Zoning Ordinance. To the extent any change in use (rather than just a change in tenant) is proposed, the Borough reserves the right to review such change in use.

Based on visual observations of the site, and in accordance with §27-1404.6 and pursuant to §27-817.H.(3) of the Zoning Ordinance, no outdoor storage of materials or wastes shall be deposited upon a lot in such form or manner that may be transferred off the lot by natural causes or forces. The existing trash dumpster located outside and adjacent the existing building is in violation of §27-817.H.(3). The existing outdoor trash dumpster will need to be relocated inside the existing nonconforming building; be removed off-site; or otherwise, a variance from Zoning Ordinance Section §27-817.H.(3) for approval by the Conshohocken Borough Zoning Hearing Board is required to permit the outdoor storage of materials within the floodplain.

Should any variances be granted, compliance to the technical provisions of Part 17 of the Floodplain Conservation Overlay District, Article G shall be required.

Since the Borough of Conshohocken does not have record of the portion of the property identified in the permit application as Section "A"; and no outdoor storage of materials or waste that may be transferred off the lot by natural causes or forces is permitted, this U&O permit application is **denied** at this time.

If you have any questions or concerns, please feel free to contact the undersigned at 484-243-6073 or zoning@conshohockenpa.gov.

Sincerely,



Allison A. Lee, PE

Zoning Officer

PENNONI ASSOCIATES INC.

cc: Ray Sokolowski
Stephanie Cecco
Chris Small

EXHIBIT C-2



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

MAYOR

Yaniv Aronson

BOROUGH COUNCIL

Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

June 22, 2023

Applicant:

Safe Zone Line Services, LLC
Victoria Legra, Supervisor
234 Dogwood Drive
Crawfordville, FL 32327

Property Owner:

TS 16, LLC
15 St. Asaphs Road
Bala Cynwyd, PA 19004

**Re: 5 Colwell Lane (Section "B")
Use and Occupancy (U&O) Permit Application #23-00428**

Conshohocken Borough is in receipt of your Use and Occupancy (U&O) Permit Application #23-00428 for Section "B" of the above referenced property. Upon review of this permit application, the Borough only has record of the above referenced property as one entire tract and does not have record of the portion of the above referenced property identified as Section "B" in the permit application. A site plan shall be provided documenting Section "B" of the above referenced property to accompany the U & O permit application.

The property is identified to be located within the LI - Limited Industrial District/Research. Based on the FEMA Flood Insurance Rate Map (FIRM), panel no. 42091C0358G, effective March 2, 2016, the majority of the property is located within Zone AE, which is determined by FEMA to be Special Flood Hazard areas with base flood elevations or depths defined. The remaining small sliver of the subject property along the southern property line is located within Zone X, which is determined by FEMA to be Other Areas of Flood Hazard of 0.2% annual chance flood hazard, areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile. In accordance with Sections §27-1702.1 and §27-1709.1.B of the Borough Zoning Code, the property is subject to the FP - Floodplain Conservation Overlay District.

Per § 27-1402.F of the Borough Zoning Ordinance, the "warehouse, storage, or distribution center" use is a permitted use within the LI-Limited Industrial District/Research. However, per §27-1713 of the Borough Zoning Ordinance, a warehouse, storage, or distribution center use is not permitted by right within the Floodplain Conservation District. Since the above referenced property is also subject to the FP - Floodplain Conservation Overlay District the more restrictive provisions of the Zoning Ordinance shall apply in accordance with §27-1703 of the Borough Zoning Ordinance. A variance from §27-1713 of the Borough Zoning Code for approval from the Conshohocken Borough Zoning Hearing Board is required to permit the proposed new use to be located within the FP - Floodplain Conservation Overlay District.

Based on visual observations of the site, and in accordance with §27-1404.6 and pursuant to §27-817.H.(3) of the Zoning Ordinance, no outdoor storage of materials or wastes shall be deposited upon a lot in such form or manner that may be transferred off the lot by natural causes or forces. The existing trailers, equipment, port-a-potty, and loose materials currently stored onsite is in violation of §27-817.H.(3). The existing loose materials will be required to be removed off-site. In addition, pursuant to §27-1714.1.A and H of the Zoning Ordinance, no new construction, alteration, or improvement of any buildings and any other type of permanent structure, including fences, shall be permitted in the floodway or the one-hundred-year floodplain and parking lots are prohibited uses within the Floodplain Conservation Overlay District. A variance from Zoning Ordinance Sections §27-817.H.(3) and §27-1714.1.A and H for approval by the Conshohocken Borough Zoning Hearing Board is required to permit the outdoor storage of materials, permanent structures, and utilizing the site as a parking lot for contractor vehicles and equipment within the floodplain.

Should any variances be granted, compliance to the technical provisions of Part 17 of the Floodplain Conservation Overlay District, Article G shall be required.

Since the Borough of Conshohocken does not have record of the portion of the property identified in the permit application as Section "B"; the proposed new use is not a permitted use by right within the more restrictive FP – Floodplain Conservation Overlay District; and no permanent structures nor outdoor storage of materials or waste that may be transferred off the lot by natural causes or forces is permitted, this U&O permit application is **denied** at this time.

If you have any questions or concerns, please feel free to contact the undersigned at 484-243-6073 or zoning@conshohockenpa.gov.

Sincerely,



Allison A. Lee, PE
Zoning Officer

PENNONI ASSOCIATES INC.

cc: Ray Sokolowski
Stephanie Cecco
Chris Small

EXHIBIT C-3



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

MAYOR

Yaniv Aronson

BOROUGH COUNCIL

Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

June 22, 2023

Applicant:

Asplundh Tree Expert, LLC
Elizabeth Bolger, Director Region 021
575 A Virginia Drive
Fort Washington, PA 19034

Property Owner:

TS 16, LLC
15 St. Asaphs Road
Bala Cynwyd, PA 19004

**Re: 5 Colwell Lane (Section "C")
Use and Occupancy (U&O) Permit Application #23-00429**

Conshohocken Borough is in receipt of your Use and Occupancy (U&O) Permit Application #23-00429 for Section "C" of the above referenced property. Upon review of this permit application, the Borough only has record of the above referenced property as one entire tract and does not have record of the portion of the above referenced property identified as Section "C" in the permit application. A site plan shall be provided documenting Section "C" of the above referenced property to accompany the U & O permit application.

The property is identified to be located within the LI - Limited Industrial District/Research. Based on the FEMA Flood Insurance Rate Map (FIRM), panel no. 42091C0358G, effective March 2, 2016, the majority of the property is located within Zone AE, which is determined by FEMA to be Special Flood Hazard areas with base flood elevations or depths defined. The remaining small sliver of the subject property along the southern property line is located within Zone X, which is determined by FEMA to be Other Areas of Flood Hazard of 0.2% annual chance flood hazard, areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile. In accordance with Sections §27-1702.1 and §27-1709.1.B of the Borough Zoning Code, the property is subject to the FP - Floodplain Conservation Overlay District.

Per § 27-1402.F of the Borough Zoning Ordinance, the "warehouse, storage, or distribution center" use is a permitted use within the LI-Limited Industrial District/Research. However, per §27-1713 of the Borough Zoning Ordinance, a warehouse, storage, or distribution center use is not permitted by right within the Floodplain Conservation District. Since the above referenced property is also subject to the FP - Floodplain Conservation Overlay District the more restrictive provisions of the Zoning Ordinance shall apply in accordance with §27-1703 of the Borough Zoning Ordinance. A variance from §27-1713 of the Borough Zoning Code for approval from the Conshohocken Borough Zoning Hearing Board is required to permit the proposed new use to be located within the FP - Floodplain Conservation Overlay District.

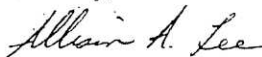
Based on visual observations of the site, and in accordance with §27-1404.6 and pursuant to §27-817.H.(3) of the Zoning Ordinance, no outdoor storage of materials or wastes shall be deposited upon a lot in such form or manner that may be transferred off the lot by natural causes or forces. The existing port-a-potty currently stored onsite is in violation of §27-817.H.(3). The existing port-a-potty will be required to be removed off-site. In addition, pursuant to Section §27-1714.1.H of the Zoning Ordinance, parking lots is a prohibited use within the Floodplain Conservation Overlay District. A variance from Zoning Code Sections §27-817.H.(3) and §27-1714.1.H for approval by the Conshohocken Borough Zoning Hearing Board is required to permit the outdoor storage of the port-a-potty and utilizing the site as a parking lot for contractor vehicles within the floodplain.

Should any variances be granted, compliance to the technical provisions of Part 17 of the Floodplain Conservation Overlay District, Article G shall be required.

Since the Borough of Conshohocken does not have record of the portion of the property identified in the permit application as Section "C"; the proposed new use is not a permitted use by right within the more restrictive FP – Floodplain Conservation Overlay District; and no outdoor storage of materials or waste that may be transferred off the lot by natural causes or forces is permitted, this U&O permit application is **denied** at this time.

If you have any questions or concerns, please feel free to contact the undersigned at 484-243-6073 or zoning@conshohockenpa.gov.

Sincerely,

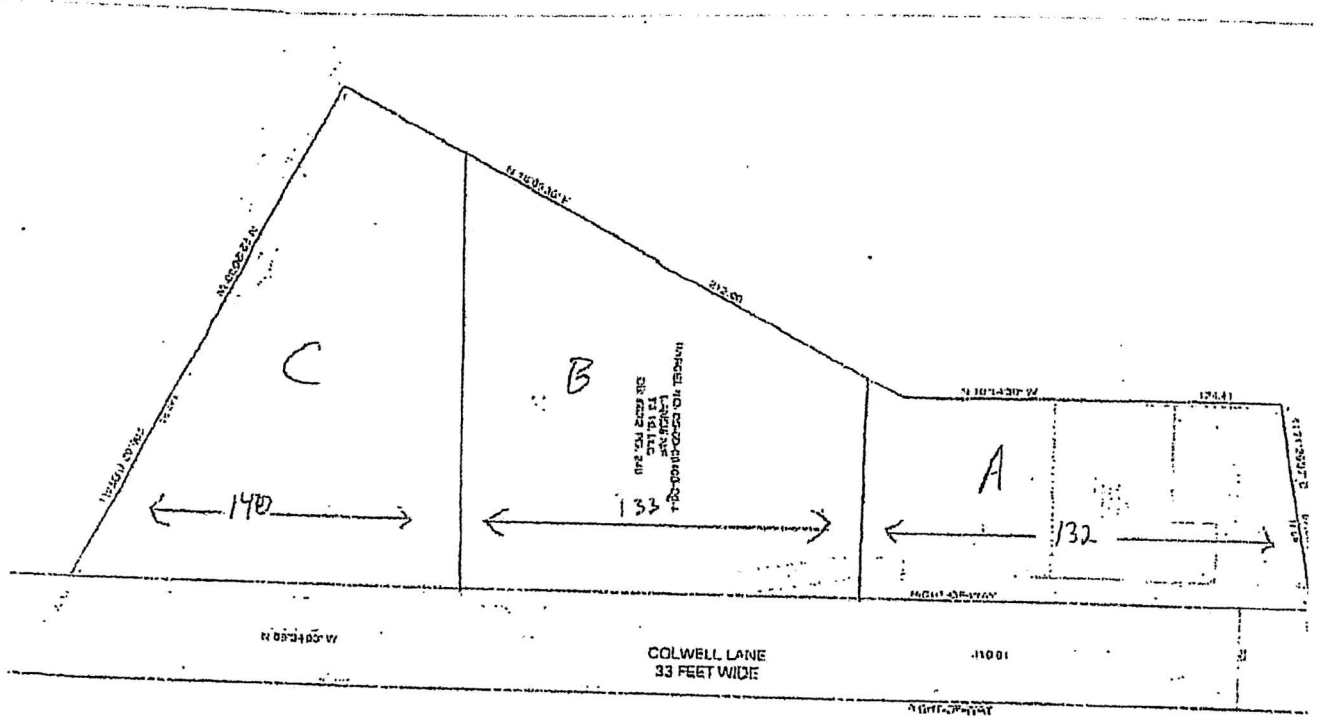


Allison A. Lee, PE
Zoning Officer

PENNONI ASSOCIATES INC.

cc: Ray Sokolowski
Stephanie Cecco
Chris Small

EXHIBIT D



Not to Scale
 All measurements are approximate

Exhibit "A"

MJS

100



BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

ZONING NOTICE NOVEMBER 20, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-19

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on November 20th, 2023, at 6:15 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: David Krmpotich and Jane Krmpotich

PREMISES INVOLVED: 422 West 6th Avenue
Conshohocken, PA 19428
BR-1 – Borough Residential District 1

OWNER OF RECORD: David Krmpotich and Jane Krmpotich
128 Archbishop Drive
Conshohocken, PA 19428

The petitioner is seeking a Special Exception pursuant to Section §27-703.B.(1) and a Variance from Section §27-1002 of the Conshohocken Borough Zoning Ordinance for a change in use of the existing nonconforming former salvage yard use to another nonconforming vehicle storage use related to a moving company business, and where a vehicle storage use is not a permitted use by right within the BR-1 – Borough Residential 1 zoning district.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: November 14, 2023
To: Stephanie Cecco, Brittany Rogers
From: Allison A. Lee, PE
Re: 422 West Sixth Avenue - Zoning Determination

History of the Site:

422 West Sixth Avenue is an existing non-conforming property comprised of two (2) adjoining parcels (Premises A & B) with nonconforming uses fronting West Sixth Avenue. There are two (2) adjoining land parcels (Premises C & D) located to the rear and separated by an approximately 20 ft-wide unnamed alley. These two (2) adjoining rear parcels do not have a postal address and are commonly known as and associated with the 422 West Sixth Avenue property. The two (2) adjoining front parcels (Premises A & B) is comprised of an existing single-family detached dwelling; a converted garage to a mixed-use residential dwelling with office use; and a former automotive service garage. The two (2) adjoining rear land parcels (Premises C & D) was formerly used as a salvage yard.

The property is located within the BR-1 - Borough Residential District 1 zoning district. The two (2) adjoining front parcels (Premises A & B) of the site are fronted by West Sixth Avenue to the south; residential properties also located within the BR-1 zoning district to the east and west; and an approximately 20 ft-wide unnamed alley which separates the two (2) adjoining rear land parcels (Premises C & D) to the north. The two (2) adjoining rear land parcels (Premises C & D) is bounded by residential properties zoned in the BR-2 - Borough Residential District 2 to the west; residential properties zoned in the LI - Limited Industrial District 2 to the east; and the Sutcliffe Park to the north. Access to the two (2) adjoining rear land parcels (Premises C & D) is from the unnamed alley off at the end of Freeley Street or via the western front parcel of 422 West Sixth Avenue which fronts West Sixth Avenue.

Current Request:

The property owners are seeking a Special Exception pursuant to Section §27-703.B.(1) of the Conshohocken Borough Zoning Ordinance to change the use of the two (2) adjoining rear land parcels (Premises C & D) from a former salvage yard use to a vehicle storage use associated with a moving company business, which the Applicant believes would be an equally appropriate non-conforming use. In the alternative, the Applicants are also seeking a Variance from Section §27-1002 of the Conshohocken Borough Zoning Ordinance to permit a vehicle storage use on the site.

Zoning Determination:

Per Section §27-702.A of the Conshohocken Borough Zoning Ordinance, a nonconforming use is defined as the existing lawful use of land and/or buildings and/or structures upon the land which does not conform to any of the permitted uses of the district in which it is located. The site is located within the BR-1 – Borough Residential District One zoning district. The former garage and salvage yard on the site are not permitted uses by right within the BR-1 zoning district per Section §27-1002 of the Conshohocken Borough Zoning Ordinance; therefore, the former garage and salvage yard use is considered an existing nonconforming use.

Pursuant to Section §27-703.B.(1) of the Zoning Ordinance, a nonconforming use may be changed to another nonconforming use which is equally appropriate or more appropriate to the district in which the property is located, and is no more detrimental than the existing nonconforming use, as a Special Exception by the Zoning Hearing Board in accordance with the provisions of Part 6 of the Zoning Ordinance. Since vehicle storage associated with a moving company business (known as the “The Gentlemen Movers”) is also not a permitted use within the BR-1 zoning district, the Applicant is required to seek a Special Exception from the Conshohocken Borough Zoning Hearing Board to allow for the change in the nonconforming uses from the former garage and salvage yard to a vehicle storage use associated with a moving company business which is also a nonconforming use.

The Applicant is also seeking a Variance from Section §27-1002 of the Zoning Ordinance to permit the proposed vehicle storage use associated with a moving company business in the alternative to the Special Exception petition. A vehicle storage use associated with a moving company business is not a permitted use by right within the BR-1 zoning district. Therefore, the Applicant would be required to seek a variance from Section §27-1002 of the Zoning Ordinance in the alternative that the Special Exception petition be rejected by the Zoning Hearing Board.



BOROUGH OF CONSHOHOCKEN
 400 Fayette Street, Suite 200, Conshohocken, PA 19428
 Phone (610) 828-1092 Fax (610) 828-0920

Zoning Application

Application: _____
Date Submitted: _____
Date Received: _____

1. Application is hereby made for:

Special Exception Variance

Appeal of the decision of the zoning officer

Conditional Use approval Interpretation of the Zoning Ordinance

Other _____

2. Section of the Zoning Ordinance from which relief is requested:

Special Exception approval under Code 27-703.B(1) to change the existing nonconforming use of a salvage yard to an equally appropriate vehicle storage lot nonconforming use. In the alternative, Applicant requests a variance from Code 27-1002 to permit a vehicle storage lot on the Property.

3. Address of the property, which is the subject of the application:

Parcel No.'s: 05-00-08308-00-3; 05-00-08312-00-8

4. Applicant's Name: David and Jane Krmpotich

Address: 128 Archbishop Drive, Conshohocken, PA 19428

Phone Number (daytime): _____

E-mail Address: krmpotich@aol.com

5. Applicant is (check one): Legal Owner Equitable Owner ; Tenant

6. Property Owner: See above.

Address: _____

Phone Number: _____

E-mail Address: _____

7. Lot Dimensions: See attached survey. Zoning District: BR-1 Borough Residential

8. Has there been previous zoning relief requested in connection with this Property?
Yes No If yes, please describe.

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

The Property is presently used as a salvage yard. The existing conditions and improvements on the Property are shown on the attached survey plan.

10. Please describe the proposed use of the property.

The Applicant proposes to use the Property as a vehicle storage lot.

11. Please describe proposal and improvements to the property in detail.

The Applicant proposes to use the Property as a vehicle storage lot in connection with a moving company. The Project does not propose any improvements on the Property.

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

Upon information and belief, the Property was previously used as a salvage yard for many years, which is nonconforming to the Zoning Code requirements for the Property. The Applicant requests to change the use to a vehicle storage lot, which is an equally appropriate nonconforming use.

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property: The Property lacks access, except from a 20 ft (+/-) alley. The Property is an "alley lot" with no public street frontage.

b. How the Zoning Ordinance unreasonably restricts development of the property:
The BR-1 District permits only residential uses by-right. However, Code 27-828 prohibits structures for human habitation on an alley lot. Therefore, there are no by-right uses permitted on the Property.

c. How the proposal is consistent with the character of the surrounding neighborhood. The Property has been used as a salvage yard for many years. The proposed use is an equally appropriate nonconforming use.

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed.
The Property has been used as a salvage yard for many years. The proposed use is an equally appropriate nonconforming use. No construction is proposed as part of the Project.

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.
- a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

N/A

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

N/A

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

N/A

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

N/A

c. Please describe in detail the reasons why the requested relief should be granted.

N/A

16. If the applicant is being represented by an attorney, please provide the following information.

a. Attorney's Name: Daniel P. Rowley, Esq.

b. Address: Saul Ewing LLP
1200 Liberty Ridge Drive, Suite 200
Wayne, PA 19087-5569

c. Phone Number: 610.251.5761

d. E-mail Address: daniel.rowley@saul.com

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.

[Signature]
Applicant - *Daniel Rowley, Esq. - Attorney for Applicant*

Legal Owner

7/12/2023
Date

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF MONTGOMERY

As subscribed and sworn to before me this *12th* day of *September*, 20*23*.

[Signature]
Notary Public

Commonwealth of Pennsylvania - Notary Seal
Patricia A. Desmond, Notary Public
Chester County
My commission expires August 24, 2026
Commission number 1038631
Member, Pennsylvania Association of Notaries

(Seal)





BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Decision

(For Borough Use Only)

Application Granted

Application Denied

MOTION:

CONDITIONS:

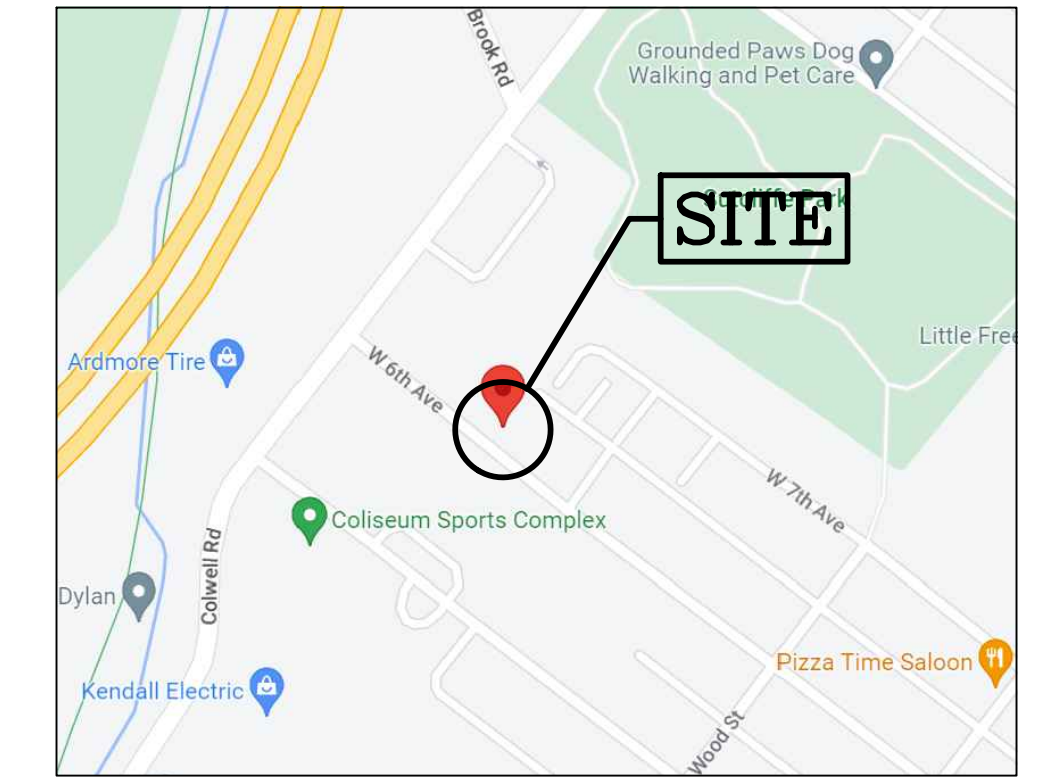
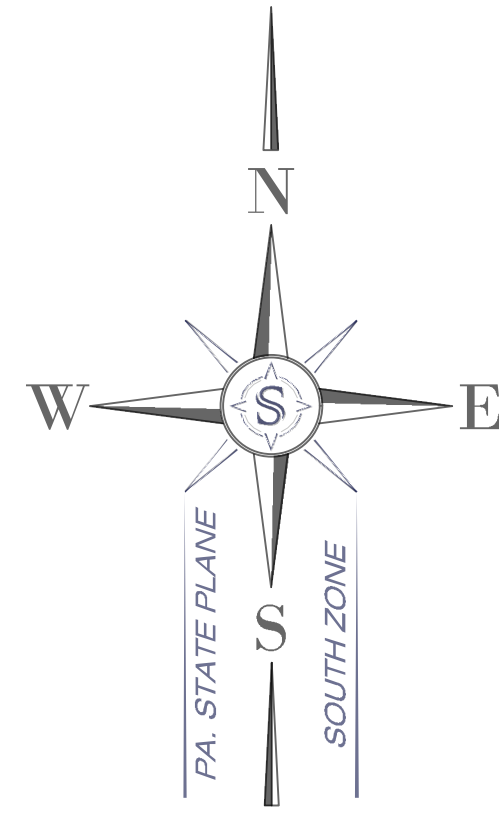
BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

DATE OF ORDER: _____

PREMISES C&D OF 422 W 6TH AVENUE

CONSHOHOCKEN BOROUGH | MONTGOMERY COUNTY



SCALE: 1" = 500'

OWNER OF RECORD PER MONTGOMERY COUNTY
 DAVID & JANE KRMPOTICH
 422 W 6TH AVENUE
 CONSHOHOCKEN, PA. 19428
 PARCEL ID # 05-00-08836-00-6
 DEED BOOK 6253, PAGE 00859

TOWNSHIP ZONING DISTRICT:
BR-1-BOROUGH RESIDENTIAL DISTRICT ONE
 MIN LOT AREA 4,000 S.F.
 MIN LOT WIDTH AT STREET LINE 40 FEET
 MAX IMPERVIOUS COVERAGE 60%
 MAX BUILDING COVERAGE 35%
 MAX BUILDING HEIGHT 35 FEET*
 MIN BUILDING WIDTH 20 FEET
 MIN PRINCIPLE BUILDING SETBACKS:
 FRONT YARD 25 FEET
 SIDE YARD 5 FEET
 REAR YARD 25 FEET
 MIN ACCESSORY BUILDING SETBACKS:
 SIDE YARD 3 FEET
 REAR YARD 3 FEET
 SIDE FACING ALLEY SHALL 5 FEET FROM CARTWAY EDGE

** FOR BUILDINGS WITH FLAT ROOFS, BUILDING HEIGHT IS MEASURED FROM GRADE TO THE TOP OF THE BUILDING WALL, INCLUDING THE PARAPET. FOR BUILDINGS WITH PITCHED ROOFS, BUILDING HEIGHT IS MEASURED FROM THE GRADE TO MIDPOINT OF THE SLOPE. THE HEIGHT EXCLUDES AERIALS, COMMUNICATION TOWERS, OR THE LIKE, AS WELL AS ELEVATORS, MACHINE ROOMS, COOLING TOWERS, AND THEIR ENCLOSING WALLS.
 ** ZONING INFORMATION OBTAINED FROM BOROUGH OF CONSHOHOCKEN CODE §27, LATEST EDITION ONLINE ECODE360.

LOT SIZE PREMISES "C&D"
 LOT AREA (MINUS R.O.W.): 19,600 S.F. OR 0.4500 ACRES

EXISTING IMPERVIOUS COVERAGE PREMISES "C&D"
 ASPHALT 19,600 S.F.
 TOTAL 19,600 S.F. (100% OF LOT AREA)

** MAX LOT IMPERVIOUS COVERAGE IS 11,760 S.F. (60% OF LOT AREA).
 ** MAX LOT BUILDING COVERAGE IS 6,860 S.F. (35% OF LOT AREA).
 ** 6,860 S.F. OF AVAILABLE IMPERVIOUS COVERAGE.

- PLAN NOTES**
1. THIS PLAN REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON THE PREMISES ON AUGUST 23, 2023 AND DEPICTS CONDITIONS ON THAT DATE.
 2. THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.
 3. THE HORIZONTAL BEARING DATUM SHOWN ON THIS PLAN IS PA STATE PLANE ZONE SOUTH HARN.
 4. THE VERTICAL DATUM SHOWN ON THIS PLAN IS PER NAVD1988 OBTAINED VIA GPS NETWORK.
 5. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CLIENT PROVIDED TITLE REPORT & IS SUBJECT TO THOSE FINDINGS, IF ANY.
 6. THIS PROPERTY IS LOCATED IN ZONE X "AREA OF MINIMAL FLOOD HAZARD" IN ACCORDANCE TO FEMA MAP PANEL 42091C0388G, EFFECTIVE DATE 03/02/2016.
 7. SITE SOIL TYPE IS "Ugud" & "Uudb" PER USDA WEB SOIL SURVEY.

LINETYPE LEGEND

- | | |
|--|-------------------------|
| | PROPERTY LINE |
| | ADJOINER PROPERTY LINE |
| | EASEMENT LINE |
| | RIGHT-OF-WAY LINE |
| | BUILDING SETBACK |
| | CONCRETE EDGE |
| | ASPHALT EDGE |
| | BUILDING WALL |
| | CURB |
| | BUILDING |
| | FLAGSTONE |
| | ASPHALT |
| | ROOF OVERHANG |
| | DECK |
| | CONCRETE |
| | FENCE LINE |
| | OVERHEAD ELECTRIC |
| | ELECTRIC LINE |
| | GAS LINE |
| | TELECOM LINE |
| | WATER LINE |
| | SANITARY LINE |
| | EXISTING STORM PIPES |
| | EXISTING 1' CONTOUR |
| | EXISTING 5' CONTOUR |
| | EVERGREEN TREE |
| | DECIDUOUS TREE |
| | PLAN BEARING & DISTANCE |
| | DEED BEARING & DISTANCE |
| | AREA OF DETAIL |

SYMBOL LEGEND

- | | | | |
|--|---------------------------------|--|---------------------|
| | TG TOP OF GRATE ELEVATION | | ELECTRIC BOX |
| | INV INVERT ELEVATION | | FIRE HYDRANT |
| | TW TOP OF WALL ELEVATION | | WATER SHUTOFF |
| | BW BOTTOM OF WALL ELEVATION | | GAS VALVE |
| | TBC TOP BACK CURB ELEVATION | | EVERGREEN TREE |
| | BC BOTTOM CURB ELEVATION | | STORM INLET |
| | DS DOORSILL ELEVATION | | TELEPHONE BOX |
| | (TYP) TYPICAL SYMBOL OR FEATURE | | GAS METER |
| | IRON PIN | | ELECTRIC MANHOLE |
| | CONCRETE MONUMENT | | POSTED SIGN |
| | SANITARY MANHOLE | | PARKING SPACE COUNT |
| | WATER VALVE | | HANDICAP PARKING |
| | CLEANOUT (COLOR PER UTILITY) | | LIGHT POLE |
| | STORM MANHOLE | | AC UNIT |

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE. STOP AND CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776



SCALE: 1" = 20'



1958 BUTLER PIKE, SUITE 200
 CONSHOHOCKEN, PA 19428
 610.580.7373 | SCHOCKGROUP.COM

CONTRACTOR OF RECORD: UTILITIES ON THIS PLAN HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE APPROPRIATE AGENCIES. THE ACCURACY OF THE INFORMATION, COMPLETENESS OR SCOPE OF THE GUARANTEE, IN DEPTH OF ALL STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES BEFORE STARTING ANY WORK. BEFORE STARTING ANY WORK, THE CONTRACTOR SHALL NOTIFY THE BOROUGH OF CONSHOHOCKEN AND THE PENNSYLVANIA ONE CALL SYSTEM THREE DAYS PRIOR TO THE START OF ANY WORK.

EXISTING CONDITIONS PLAN
 BOUNDARY & TOPOGRAPHIC SURVEY
PREMISES C&D OF 422 W 6TH AVENUE
 CONSHOHOCKEN BOROUGH • MONTGOMERY COUNTY • PENNSYLVANIA

REV.	DATE	DESCRIPTION

CLIENT: DAVID KRMPOTICH
 422 W 6TH AVENUE
 CONSHOHOCKEN, PA 19428
 DRAWN BY: ZJR
 CHECKED BY: PCC
 ORIGINAL: PCC
 SCALE: 1" = 20'
 DATE: SEPTEMBER 6, 2023
 SHEET NO.: 1566
1 OF 1



DEED BK 6253 PG 00859 to 00864
 INSTRUMENT # : 2021125885
 RECORDED DATE: 10/25/2021 11:31:20 AM



6020692-0021L

RECORDER OF DEEDS
 MONTGOMERY COUNTY
Jeanne Sorg

One Montgomery Plaza
 Swede and Airy Streets ~ Suite 303
 P.O. Box 311 ~ Norristown, PA 19404
 Office: (610) 278-3289 ~ Fax: (610) 278-3869

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 6

Document Type: Deed	Transaction #: 6445106 - 1 Doc(s)
Document Date: 10/01/2021	Document Page Count: 5
Reference Info:	Operator Id: dawhitner
RETURN TO: (Simplifile) Brendan Abstract Company 150 E Swedesford Rd Ste 104 Wayne, PA 19087-1458 (610) 688-9249	PAID BY: BRENDAN ABSTRACT COMPANY

* PROPERTY DATA:			
Parcel ID #:	05-00-08836-00-6	05-00-08840-00-2	05-00-08308-00-3
Address:	422 W SIXTH AVE	422 W SIXTH AVE	W SEVENTH AVE
	PA	CONSHOCKEN PA	PA
		19428	
Municipality:	Conshohocken Borough (100%)	Conshohocken Borough (0%)	Conshohocken Borough (0%)
School District:	Colonial	Colonial	Colonial

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT:	\$850,000.00
TAXABLE AMOUNT:	\$850,000.00
FEES / TAXES:	
Recording Fee:Deed	\$86.75
Additional Pages Fee	\$2.00
Additional Parcels Fee	\$45.00
Affordable Housing Pages	\$2.00
Affordable Housing Parcels	\$1.50
State RTT	\$8,500.00
Conshohocken Borough RTT	\$4,250.00
Colonial School District RTT	\$4,250.00
Total:	\$17,137.25

DEED BK 6253 PG 00859 to 00864
 Recorded Date: 10/25/2021 11:31:20 AM

I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.



Jeanne Sorg
 Recorder of Deeds

Rev1 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION



Prepared by:
Brendan Abstract Company, Inc.
150 E. Swedesford Road, Suite 104
Wayne, PA 19087
(610)688-9249

Return to:
Brendan Abstract Company, Inc.
150 E. Swedesford Road, Suite 104
Wayne, PA 19087
(610)688-9249
File No.: 21080530

Parcel No.: 05-00-08836-00-6; 05-00-08840-00-2, Consideration: \$850,000.00
05-00-08308-00-3; 05-00-08312-00-8

Municipal Tax: \$8,500.00
State Tax: \$8,500.00

This Indenture Made this 1st day of October, 2021.

Between

Joseph J. Radaszewski and Bridget C. Radaszewski, husband and wife
(hereinafter called the Grantor)

and

David Krmpotich and Jane Krmpotich, husband and wife
(hereinafter called the Grantee),

Witnesseth That the said Grantor for and in consideration of the sum of Eight Hundred Fifty Thousand And No/100 Dollars----- (\$850,000.00)----- lawful money of the United States of America, unto Grantor well and truly paid by the said Grantee and at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee and Grantee's heirs, successors and assigns, as tenants by the entirety.

422 W. 6th Avenue and Seventh Avenue
Borough of Conshohocken
County of Montgomery
Pennsylvania
Parcel No.:
05-00-08836-00-6; 05-00-08840-00-2;
05-00-08308-00-3 and 05-00-08312-00-8

See Exhibit A attached hereto and made a part hereof.



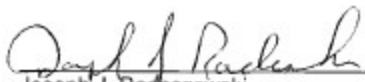
Together with all and singular improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said Grantor and Grantor's heirs, successors and assigns, as well at law as in equity, of, in, and to the same.

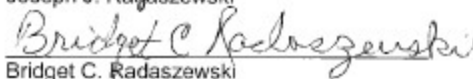
To have and to hold the said lot(s) or piece(s) of ground above described with the hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantee and Grantee's heirs, successors and assigns to and for the only proper use and behoof of the said Grantee and Grantee's heirs, successors and assigns, forever, as tenants by the entirety.

And the said Grantor and Grantor's heirs, successors and assigns does by these presents, covenant, grant and agree, to and with the said Grantee and Grantee's heirs, successors and assigns, that the said Grantor and Grantor's heirs, successors and assigns all and singular the Hereditaments and premises herein above described and granted, or mentioned and intended so to be with the Appurtenances unto the said Grantee and Grantee's heirs, successors and assigns, against the said Grantor and Grantor's heirs, successors and assigns all and every Person or Persons whomsoever lawfully claiming or to claim the same or any part thereof, by from, or under Grantor and Grantor's heirs, successors and assigns shall and will WARRANT and forever DEFEND.

In Witness Whereof, the said Grantor has caused these presents to be duly executed dated the day and year first above written.

Sealed and Delivered
IN THE PRESENCE OF US



Joseph J. Radaszewski


Bridget C. Radaszewski



COMMONWEALTH OF PENNSYLVANIA

COUNTY OF MONTGOMERY

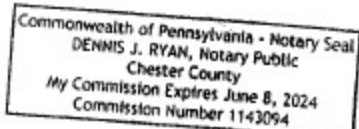
I, Dennis J. Ryan, a Notary Public for the County of Chester and State of Pennsylvania, do hereby certify that Joseph J. Radaszewski and Bridget C. Radaszewski, husband and wife, personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal, this the 1st of October, 2021.


Notary Public

My Commission Expires:

(SEAL)



DEED

Grantor: Joseph J. Radaszewski and Bridget C. Radaszewski, husband and wife

TO

Grantee: David Krmpotich and Jane Krmpotich, husband and wife

PREMISES: 422 W. 6th Avenue, Conshohocken, PA 19428
Seventh Avenue, Conshohocken, PA 19428

The address of the above named Grantee is:
128 Archbishop Drive
Conshohocken, PA 19428

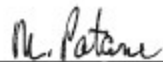
Certified by: 



EXHIBIT "A"

Premises - A

ALL THAT CERTAIN lot or piece of ground situate in the Borough of Conshohocken, County of Montgomery and State of Pennsylvania, bounded and described according to a survey and plan thereof made by Will D. Hiltner, in June 1946, as follows, to wit:

BEGINNING at a point on the Northeasterly side of sixth Avenue at the distance of 200 feet Northwestwardly from the Northwest side of Freedley Street containing in front or breadth on the said side of Sixth Avenue Northwestwardly 50 feet and extending of that width in length or depth between parallel lines at right angles to the said side of Sixth Avenue Northeastwardly 140 feet to a 20 feet wide alley.

PARCEL NO. 05-00-08840-00-2

Premises - B

ALL THAT TWO CERTAIN lots or pieces of ground, Situate in the Borough of Conshohocken, County of Montgomery and State of Pennsylvania designated on a certain Plan entitled "Maple Hills" prepared for Charles L. Hanson and duly recorded at Norristown, as Lots Nos. 9 and 10, Block 3 and described as an entirety as follows:

BEGINNING at a point on the Northeasterly side of sixth Avenue at the distance of 160 feet Northwestwardly from Freedley Street being the intersection of Lot No. 9 hereby conveyed with Lot No. 8; thence extending along said side of sixth Avenue Northwestwardly 40 feet to a point, being the intersection of Lot No. 10 hereby conveyed with Lot No. 11; thence extending Northeastwardly of that width in length or depth between parallel lines at right angles to said sixth Avenue 140 feet to the Southwesterly side of a certain 20 feet wide alley.

PARCEL NO. 05-00-08836-00-6

Premises - C and D

ALL THAT CERTAIN tract or piece of land, Situate in the Borough of Conshohocken, County of Montgomery and Commonwealth of Pennsylvania, bounded and described according to a Survey and Plan thereof made by Will D. Hiltner, in June, 1946, as follows, to wit:

SITUATE on the Southwesterly side of Seventh Avenue, at the distance of Two hundred feet Northwardly from the Northwestwardly side of Freedley Street.

Containing in front or breadth on the said side of Seventh Avenue, Northwestwardly 140 feet and extending of that width in length or depth between parallel lines at right angles to the said side of Seventh Avenue, Southwestwardly, One hundred forty feet to the Northeasterly side of a Twenty feet wide alley.



PARCEL NO. 05-00-08308-00-3 and 05-00-08312-00-8

BEING the same premises which Frank Bosco and Mabel M. Bosco, a/k/a Mabel Bosco, husband and wife, by Deed dated 10/29/1984 and recorded 11/07/1984 in the Office of the Recorder of Deeds in and for the County of Montgomery in Deed Book 4752, Page 10, granted and conveyed unto Joseph J. Radaszewski and Blanche G. Radaszewski, husband and wife, as tenants by the entirety.

AND ALSO BEING the same premises which Frank Bosco and Mabel M. Bosco, a/k/a Mabel Bosco, his wife, by Corrective Deed dated 11/20/1984 and recorded 11/27/1984 in the Office of the Recorder of Deeds in and for the County of Montgomery in Deed Book 4753, Page 1020, granted and conveyed unto Joseph J. Radaszewski and Bridget C. Radaszewski, husband and wife, as tenants by the entirety.

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
 05-00-08836-00-6 CONSHOHOCKEN BOROUGH
 422 W SIXTH AVE
 RADASZEWSKI JOSEPH J & BRIDGET C \$15.00
 B 031 L U 015 1160 10/06/2021 JW

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
 05-00-08840-00-2 CONSHOHOCKEN BOROUGH
 422 W SIXTH AVE
 RADASZEWSKI JOSEPH J & BRIDGET C \$15.00
 B 031 L U 005 1108 10/06/2021 JW

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
 05-00-08308-00-3 CONSHOHOCKEN BOROUGH
 W SEVENTH AVE
 RADASZEWSKI JOSEPH J & BRIDGET C \$15.00
 B 031 L U 011 2102 10/06/2021 JW

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
 05-00-08312-00-8 CONSHOHOCKEN BOROUGH
 W SEVENTH AVE
 RADASZEWSKI JOSEPH J & BRIDGET C \$15.00
 B 031 L U 020 2103 10/06/2021 JW





BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

ZONING NOTICE NOVEMBER 20, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-20

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on November 20th, 2023, at 6:15 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: Scott Malantonio and Danielle Malantonio

PREMISES INVOLVED: 223 East 11th Avenue
Conshohocken, PA 19428
BR-1 – Borough Residential District 1

OWNER OF RECORD: Scott Malantonio and Danielle Malantonio
223 East 11th Avenue
Conshohocken, PA 19428

The Applicant is seeking Zoning Hearing Board review and approval pursuant to Section §27-830 of the Conshohocken Borough Zoning Ordinance for the demolition of the existing side entrance addition of the single-family semi-detached twin dwelling and the construction of a new attached rear deck addition to wrap around the side of the dwelling.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: November 14, 2023
To: Stephanie Cecco, Brittany Rogers
From: Allison A. Lee, PE
Re: 223 East Eleventh Avenue - Zoning Determination

History of the Site:

223 East Eleventh Avenue is comprised of an existing single-family semi-detached (twin) residential dwelling that was constructed in 1928. The 2,250 SF property is located within the BR-1 - Borough Residential District 1 zoning district. The site is fronted by East Eleventh Avenue to the north and residential properties also located within the BR-1 zoning district to the east and west. An approximately 16 ft wide unnamed alley traverses through the south and rear of the property separating a portion of the rear yard. Off-street parking is provided off of the unnamed alley from Hallowell Street for access to the rear of the existing dwelling.

Current Request:

Pursuant to a building permit application (#23-00734) submission, the property owners had proposed demolition of the existing side entrance addition to the dwelling and construction of a new 20' wide x 12' long deck located on the first floor and to the rear of the dwelling. The proposed rear deck will extend and wrap around the side of the existing dwelling in place of the side entrance addition that will be demolished as part of the work. The Applicant is seeking a Zoning Hearing Board review and approval pursuant to the Conshohocken Borough Zoning Code Section §27-830 to allow for a rear deck to extend and wrap around the side of the dwelling.

Zoning Determination:

Per Section §27-830 of the Conshohocken Borough Zoning Ordinance, *"decks shall be permitted to be constructed at or to the rear of a dwelling. Any deck proposed to be attached to the side of a dwelling or rear deck proposed to extend or "wrap around" the side of a dwelling, shall require the review and approval of the Zoning Hearing Board. Decks constructed at the front of a dwelling are expressly prohibited. Decks may be constructed only at ground level or first floor of a dwelling."*

The Applicant is proposing to extend the attached new deck from the rear of the dwelling and wrap around to the side of the dwelling. Therefore, the Applicant will be required to obtain Zoning Hearing Board review and approval pursuant to §27-830 of the Conshohocken Borough Zoning Ordinance. The proposed deck will be located on the first floor to the rear of the dwelling and will be in compliance with this part of the code provision.



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Zoning Application

Application:	_____
Date Submitted:	_____
Date Received:	_____

- Application is hereby made for:
 Special Exception Variance
 Appeal of the decision of the zoning officer
 Conditional Use approval Interpretation of the Zoning Ordinance
 Other _____
- Section of the Zoning Ordinance from which relief is requested:
27-83
- Address of the property, which is the subject of the application:
223 E. 11th Ave Conshohocken PA 19428
- Applicant's Name: Daniello Longo
Address: 223 E 11th Ave Conshohocken PA 19428
Phone Number (daytime): 610-952-3454
E-mail Address: dmalantonio@MSD.com
- Applicant is (check one): Legal Owner Equitable Owner ; Tenant
- Property Owner: Daniello Longo
Address: 223 E 11th Ave Conshohocken PA 19428
Phone Number: 610-952-3454
E-mail Address: dmalantonio@MSD.com
- Lot Dimensions: 2250 sq feet Zoning District: BPA
22.5 feet x 134 feet

8. Has there been previous zoning relief requested in connection with this Property?

Yes No If yes, please describe.

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

residential use, construct deck to wrap around the side

side addition to house measurements
6 x 3

10. Please describe the proposed use of the property.

remain residential
adding a new deck wrap around
side of the house

11. Please describe proposal and improvements to the property in detail.

It will remain residential adding
a new deck that will wrap around the
side of the house

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

we would really like to add a deck that will wrap around the side of our house - we would like to use the current door we have off the side & we would like an outside exit/entrance for safety. other houses on our block have wrap around decks

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property: only entrance to the deck, house entrance is only the side of the house

b. How the Zoning Ordinance unreasonably restricts development of the property:

zoning ordinance requires approval from the zoning hearing board to extend or wrap around deck from the side of the house

c. How the proposal is consistent with the character of the surrounding neighborhood.

other houses on block have deck that extends to the side not new or special to neighborhood

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed.

not asking for any other relief code says we need hearing approval

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.

a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

W/A

I, the undersigned, certify that to the best of my knowledge, all of the above statements contained in this Zoning Application are true and correct.

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

N/A

Applicant: Danielle Lopez

Legal Counsel: [Signature]

101-747023

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

N/A

COMMONWEALTH OF MASSACHUSETTS
COUNTY OF MONTGOMERY

As authorized and sworn to before me this 07th day of July, 2020

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

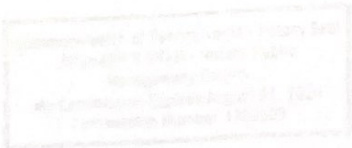
N/A

c. Please describe in detail the reasons why the requested relief should be granted.

N/A

Notary Public

(Seal)



16. If the applicant is being represented by an attorney, please provide the following information.

N/A

a. Attorney's Name: _____

b. Address: _____

c. Phone Number: _____

d. E-mail Address: _____

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.

Danielle Longo Danielle Longo
Applicant

Danielle Longo
Legal Owner

10/7/2023
Date

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF MONTGOMERY

As subscribed and sworn to before me this 07th day of
October, 2023.

[Signature]
Notary Public

(Seal)

Commonwealth of Pennsylvania - Notary Seal
RUSHABH R SHAH - Notary Public
Montgomery County
My Commission Expires August 31, 2024
Commission Number 1300609



BOROUGH OF CONSHOHOCKEN
 400 Fayette Street, Suite 200, Conshohocken, PA 19428
 Phone (610) 828-1092 Fax (610) 828-0920

Decision

(Faint background text, possibly applicant name and address)

(For Borough Use Only)

Application Granted

Application Denied

MOTION:

CONDITIONS:

BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

PLEASE DO NOT DETACH
 THIS PAGE IS NOT PART OF THIS LEGAL DOCUMENT

DATE OF ORDER: _____



**RECORDER OF DEEDS
MONTGOMERY COUNTY
Nancy J. Becker**

One Montgomery Plaza
Swede and Airy Streets - Suite 303
P.O. Box 311 - Norristown, PA 19404
Office: (610) 278-3289 - Fax: (610) 278-3869

DEED BK 5830 PG 00466 to 00470
INSTRUMENT # : 2012025955
RECORDED DATE: 03/16/2012 01:04:53 PM



2693788-0005+

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

Document Type: Deed	Transaction #: 2629144 - 1 Doc(s)
Document Date: 03/15/2012	Document Page Count: 4
Reference Info: malantonio	Operator Id: kleonard

RETURN TO: (Mail) SCOTT W MALANTONIO 808 fayette street conshohocken, PA 19428	PAID BY: SCOTT W MALANTONIO
--	---------------------------------------

*** PROPERTY DATA:**
Parcel ID #: 05-00-01128-00-1
Address: 223 E ELEVENTH AVE

Municipality: PA Conshohocken Borough (100%)
School District: Colonial

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT: \$1.00	DEED BK 5830 PG 00466 to 00470 Recorded Date: 03/16/2012 01:04:53 PM
--	---

FEES / TAXES:	
Recording Fee:Deed	\$65.00
Misc Fee	\$2.50
Total:	\$67.50

I hereby CERTIFY that
this document is
recorded in the
Recorder of Deeds
Office in Montgomery
County, Pennsylvania.



Nancy J. Becker

Nancy J. Becker
Recorder of Deeds

PLEASE DO NOT DETACH
THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.
*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.

Prepared By:
SCOTT MALANTONIO
808 Fayette Street
Conshohocken, PA 19428
Phone # (610) 825-5574

Return To:
DANIELLE MALANTONIO
808 Fayette Street
Conshohocken, PA 19428
Phone # (610) 952-3454
Parcel # 050001128001

RECORDER OF DEEDS
MONTGOMERY COUNTY

FOR RECORDERS USE ONLY:

2012 MAR 16 PM 12:47

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
05-00-01128-00-1 CONSHOHOCKEN
223 E ELEVENTH AVE
MALANTONIO SCOTT
B 053 U 025 L 1101 DATE: 03/16/2012

\$10.00
AN

General Warranty Deed

The Grantor(s),

DATE - MARCH 15, 2012

- ^{W. SM}
- Scott Malantonio for and in consideration of \$1.00, grants, bargains, sells, conveys and warranties to the

Grantee(s):

- ^{W. SM}
- Scott Malantonio and Danielle Malantonio, joint tenants with rights of survivorship

the following described real estate, situated in, 223 East 11th Avenue, County of Montgomery, in the State of Pennsylvania:

ALL THAT CERTAIN message and lot of piece of land being lots numbered 10 and 10c, block C, on Certain Plan of lots laid out for Ludwik B. Kowalkowski, in the Borough of Conshohocken, County of Montgomery, Commonwealth of Pennsylvania bounded and described according to a Survey thereof made by H.D. Herbert, Civil Engineer, as follows to wit:

Beginning at a point on Southwest side of Eleventh Avenue at the distance of Two hundred seven feet, ten inches North forty nine degrees West, from the

Northwest side of Wells Street, at a corner of Lot No. 9, Block C, on said Plan; and thence along Lots number 9 and 9C, Block C, on said plan; the line for a portion of the distance passing through the middle of the Partition wall between this and the adjoining house, South forty one degrees West, crossing a sixteen feet wide alley, the Northeast side of which is One hundred feet Southwest of and parallel with said Eleventh Avenue, One hundred forty feet to the Northeast side of a proposed, but unopened alley Twenty feet wide; thence along the Northeast side of said proposed alley, North forty nine degrees West, Twenty two feet, six inches to a point, a corner; thence along Lot numbered 11 C and 11 Block C on said plan, belonging to said Ludwick B. Kowalkowski, North forty one degree East, crossing said Sixteen feet wide alley, which is laid out for the common use of the properties abutting there on and which opens into Hallowell Street, One hundred and Forty feet to the Southwest side of said Eleventh Avenue; thence along the same, South forty nine degrees East, Twenty two feet, six inches to the place of beginning.

BEING the same premises which Emma J. Gilbert, widow, by Indenture dated the 1st day of the December, 1977, and recorded in Norristown in the office of the Recorder of Deeds, in and for the County of Montgomery on the 5th day of December, 1977 in Deed book No.: 4262 at page 588 etc., granted and conveyed unto Scott Malantonio, and Jeanette Malantonio, his wife in fee and which passed to Scott Malantonio on by operation of law as a result of the divorce decree of Scott Malantonio and Jeanette Malantonio on December 26, 1995.

And together with all singular the building, streets, alleys, passages, improvements, ways, water, water-courses, rights, liberties, privileges, Hereditaments, and Appurtenances, whatever thereunto belonging, or in any way appertaining, and the Reversions and Remainders, rents licenses and Profits thereof; and all the estate, right, title, interest, property, claim and demand whatever, of them, the said grantors, in law equity or otherwise, hereafter, of, in

and to the same and every part thereof

The Transfer is Tax Exempt (Father to Father and Daughter)

NOTICE THE GRANTEE, AS EVIDENCED BY THEIR SIGNATURE(S) TO THIS NOTICE AND THE ACCEPTANCE AND THE RECORDING OF THIS DEED, ARE FULLY AWARE OF THE FACT THAT THE GRANTEE(S) MAY NOT BE OBTAINING THE RIGHT OF PROTECTION AGAINST SUBSIDENCE AS TO THE PROPERTY CONVEYED TO THEM IN THE DEED RESULTING FROM COAL MINING OPERATIONS AND THAT THE PURCHASED PROPERTY, HEREIN CONVEYED, MAY BE PROTECTED FROM DAMAGE DUE TO MINE SUBSIDENCE BY A PRIVATE CONTRACT WITH THE OWNERS OF THE ECONOMIC INTEREST IN THE COAL. THIS NOTICE IS INSERTED TO COMPLY WITH THE BITUMINOUS MINE SUBSIDENCE AND LAND CONSERVATION ACT OF 1966. DATED: *MARCH 15, 2012*

The within instrument and other documents that they executed the same as for the purposes therein contained. In witness whereof, hereunto set my hand and official seal

Taxpayer's Signature

Scott W. Malantonio

SCOTT W. MALANTONIO



I, SCOTT W. MALANTONIO, do hereby certify that my precise residential address for annual real estate tax statement is as follows:

SCOTT W. MALANTONIO
808 Fayette Street
Conshohocken, PA 19028

Taxpayer's Signature

Scott W. Malantonio

RECORDED
Borough of Conshohocken
Date: *3/26/12 (cm)*

STATE OF PENNSYLVANIA, ss: COUNTY OF MONTGOMERY, ss:

On this day of, March 15, 2012

Before me, Misty L Sarro, personally appeared Scott W. Malantonio known to me (or satisfactorily proven) to be the persons whose names are subscribed to

The within instrument and acknowledged that they executed the same as for the purposes therein contained. In witness whereof, hereunto set my hand and official seal

Notary Public
Title (and Rank)
My commission expires
Notary Address:
CERTIFICATE OF RESIDENCE



Misty L Sarro

I, SCOTT W. MALANTONIO, do hereby certify that my precise residential address for annual real estate tax statement is as follows:

SCOTT W. MALANTONIO
808 Fayette Street
Conshohocken, PA 19428

Taxpayer's Signature

Scott W. Malantonio



MONTGOMERY COUNTY RECORDER OF DEEDS OFFICE

Nancy J. Becker, Recorder of Deeds

1500 Walnut Street

CUSTOMER RECEIPT

Receipt #: 122296
Printed: 03/16/2012 01:04:54 PM
Collected: 03/16/2012 01:04:54 PM
Paid By: SCOTT MIALANTONO
Submitted By: SCOTT MIALANTONO

Transaction #: 27296
Operator ID: Remand
Payment Comment:

Charges

DEED BY S&P PG 0466

#20120288

Recorded: 03/16/2012 01:04:54 PM

JKP

of Pages: 4
Recording Fee/Dual

of Names: 3

\$25.00 Min Fee

of Pages: 1

\$25

SUBTOTAL \$57.50

Total Charges for Document(s):

\$57.50

Payment

Cash

\$70.00

Totals

Total Amount Due:

\$57.50

Total Amount Paid:

\$70.00

Refund (Cash):

\$12.50

Nancy J. Becker

Montgomery County Recorder of Deeds



BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

ZONING NOTICE NOVEMBER 20, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-22

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on November 20th, 2023, at 6:15 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: Tracey MacArthur

PREMISES INVOLVED: 109 West 7th Avenue
Conshohocken, PA 19428
BR-1 – Borough Residential District 1

OWNER OF RECORD: Tracey Santangelo MacArthur
109 West 7th Avenue
Conshohocken, PA 19428

The petitioner is seeking a Special Exception pursuant to Section §27-703.E.(6)(a) and a Variance from Section §27-1005.F of the Conshohocken Borough Zoning Ordinance for the replacement of an existing 84 SF deck to construct a 240 SF deck, of which, a 120 SF portion of the proposed deck abutting the rear of the existing nonconforming single-family attached dwelling will be enclosed for a new sunroom addition. The new sunroom addition will increase the total building coverage on the site from an existing nonconforming 37% to 43%, whereas only a maximum building coverage of 35% is permitted within the BR-1 – Borough Residential District 1.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: November 14, 2023
To: Stephanie Cecco, Brittany Rogers
From: Allison A. Lee, PE
Re: 109 West Seventh Avenue - Zoning Determination

History of the Site:

109 West Seventh Avenue is comprised of an existing non-conforming single-family attached residential dwelling that was constructed in 1874. The 1,921 SF property is located within the BR-1 - Borough Residential District 1 zoning district. The site is fronted by West Seventh Avenue to the north; an approximately 20-foot wide unnamed alley to the south; and residential properties also located within the BR-1 zoning district to the east and west. There is an existing 84 SF (or 7' wide x 12' long) deck located to the rear of the existing dwelling, along with fencing, and a walkway leading to the unnamed alley.

Current Request:

Pursuant to a Building Permit Application (#23-00379), the Applicant is proposing to replace and strengthen the existing 84 SF (or 7' wide x 12' long) deck located to the rear of the dwelling to construct a larger 240 SF (or 20' wide by 12' long) deck, of which, a 120 SF (or 10' wide by 12' long) portion of the proposed new deck abutting the rear of the existing dwelling will be enclosed for a new sunroom.

The Applicant is seeking a Special Exception pursuant to Section §27-703.E.(6)(a) and a Variance from Section §27-1005.F of the Conshohocken Borough Zoning Ordinance for further exceedance in the total maximum building coverage on the site from an existing 37.17% to 43.42%, whereas only a maximum building coverage of 35% is permitted within the BR-1 - Borough Residential District 1.

Zoning Determination:

The above referenced property is an existing single-family attached dwelling located within the BR-1 - Borough Residential District 1 zoning district. Per Section §27-702.B of the Borough Zoning Ordinance, a nonconforming building or structure is any existing lawful building or structure that does not conform to the height, location, size, bulk, or other dimensional requirements of the district in which it is located. In accordance with the Conshohocken Borough Zoning Code, BR-1 zoning district requirements, the existing dwelling is considered an existing nonconforming building for the following reasons:

- A single-family attached dwelling is not a permitted use within the BR-1 zoning district per Section §27-1002.

- The existing building coverage, based on the lot dimensions (13.72' wide by 140' long) as shown on the property deed, is calculated to be 37%, which exceeds the maximum building coverage of 35% permitted within the BR-1 zoning district per Section §27-1005.F.
- The existing building width at 14 feet wide does not meet the required minimum 20 feet building width of the BR-1 zoning district per Section §27-1005.I.

Per Section §27-703.E.(5) & (6)(a) of the Borough Zoning Ordinance, a nonconforming building may be expanded only in compliance with Section §27-703(E)(6) of this Chapter and extension and/or expansion as permitted in Section §27-703(E)(1) through (5) above, shall be permitted only by special exception in accordance with Part 6 of this Chapter, only to the extent that all new construction shall comply with the dimensional standards of the district in which the use is located or the district in which the use is permitted, whichever is more restrictive. A Special Exception pursuant to Section §27-703.E.(6)(a) will be required from the Conshohocken Borough Zoning Hearing Board for approval to permit the deck expansion with the building addition to the nonconforming building.

Per Section §27-1005.F of the Borough Zoning Ordinance, the maximum building coverage shall not exceed 35% of the lot area. Building coverage for private garages shall be subject to the provisions of Section §27-811.C. Based on our calculations, the current building coverage is approximately 714 SF or approximately 37%. With the proposed additional 120 SF sunroom addition over the proposed new deck area, the total building coverage will result in an increase to approximately 834 SF or approximately 43%, which exceeds the maximum 35% building coverage permitted within the BR-1 zoning district. Therefore, a variance from Section §27-1005.F will be required to permit a building coverage of 43%.

The current impervious coverage on the site is approximately 876 SF (or 46%). With the proposed sunroom addition, the total impervious coverage on the site will increase to approximately 992 SF (or approximately 52%), which is in compliance with the required 60% maximum impervious coverage of the BR-1 zoning district.

BOROUGH of CONSHOHOCKEN
OCT 20 '23 PM 12:44
RECEIVED



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Zoning Application

Application: Z-2023-22
Date Submitted: 10/20/2023
Date Received: 10/20/2023

1. Application is hereby made for:

Special Exception Variance

Appeal of the decision of the zoning officer

Conditional Use approval Interpretation of the Zoning Ordinance

Other _____

2. Section of the Zoning Ordinance from which relief is requested:

Code Section 27-703.E(6)a Special exception /Code section 27-1005.F variance

3. Address of the property, which is the subject of the application:

109 W 7th avenue Conshohocken PA 19428

4. Applicant's Name: Tracey MacArthur

Address: 109 W Seventh avenue Conshohocken PA 19428

Phone Number (daytime): 610.420.9120

E-mail Address: installation@mysrig.com

5. Applicant is (check one): Legal Owner Equitable Owner ; Tenant

6. Property Owner: Tracey Santangelo MacArthur

Address: 109 W. 7th Avenue Conshohocken, PA 19428

Phone Number: 610.420.9120

E-mail Address: tracey.macarthur@gmail.com

7. Lot Dimensions: 1921SF Zoning District: BR-1

8. Has there been previous zoning relief requested in connection with this Property?

Yes No If yes, please describe.

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

Presently, the subject property is located in the BR-1 district and was originally constructed in 1874. The subject property dimensions is 13' wide x 140' depth. The structure is a 2-story home with approx 952 sq ft of living area. Attached to the rear of the dwelling is a 7x12 deck

10. Please describe the proposed use of the property.

No change to proposed use It will remain residential

11. Please describe proposal and improvements to the property in detail.

We propose to strengthen and add to the existing 7'x12' deck, located at rear of property, a 20' x 12' deck, of which, 10'x12' portion of the proposed deck abutting the rear of the existing dwelling will be an enclosed sunroom all built and to comply to code.

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

Relief should be granted as it would add value to the property without encumbering any distraction of existing surrounding neighborhood. The location of the sunroom on the rear of my home is most logical and desirable placement to flow with my home's floorplan, which we can enjoy without direct exposure to seasonal weather elements. Lastly, the addition of the proposed sunroom will not adversely affect any of my neighbors nor pose any danger to the community.

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property: Residence constructed in 1874. The unique property is its location and history of subject physical structure.

b. How the Zoning Ordinance unreasonably restricts development of the property: This ordinance restricts development of the property because the existing lot is non conforming which was lawfully in existence at the time of adoption of the ordinance.

c. How the proposal is consistent with the character of the surrounding neighborhood.

The proposal is consistent with the character and aesthetics of the surrounding neighborhood because of the location at the rear of my property not visible to street traffic or daily commuters or my front facing neighbors. It is also the most advantageous location for placement of the proposed sunroom that coincides with the flow of my home.

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed.

The requested relief is the minimum required to reasonably use the property and should not be less because the lot is nonconforming and will not affect the aesthetics of the front view of the surrounding homes.

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.

a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

"NOT APPLICABLE"

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

"NOT APPLICABLE"

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

NOT APPLICABLE

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

NOT APPLICABLE

c. Please describe in detail the reasons why the requested relief should be granted.

NOT APPLICABLE

16. If the applicant is being represented by an attorney, please provide the following information.

a. Attorney's Name: NOT APPLICABLE

b. Address: _____

c. Phone Number: _____

d. E-mail Address: _____

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.

Tracey S. MacArthur
Applicant

Tracey S. MacArthur
Legal Owner

20- October - 2023
Date

COMMONWEALTH OF PENNSYLVANIA

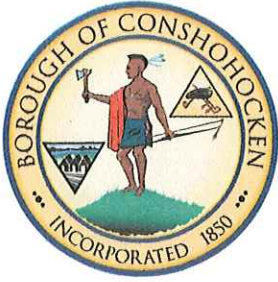
COUNTY OF MONTGOMERY

As subscribed and sworn to before me this 20 day of October, 2023 By Tracey S. MacArthur.

[Signature]
Notary Public

(Seal)

Commonwealth of Pennsylvania - Notary Seal
Kimberly Zera, Notary Public
Montgomery County
My commission expires May 5, 2026
Commission number 1185103
Member, Pennsylvania Association of Notaries



BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Decision

(For Borough Use Only)

Application Granted

Application Denied

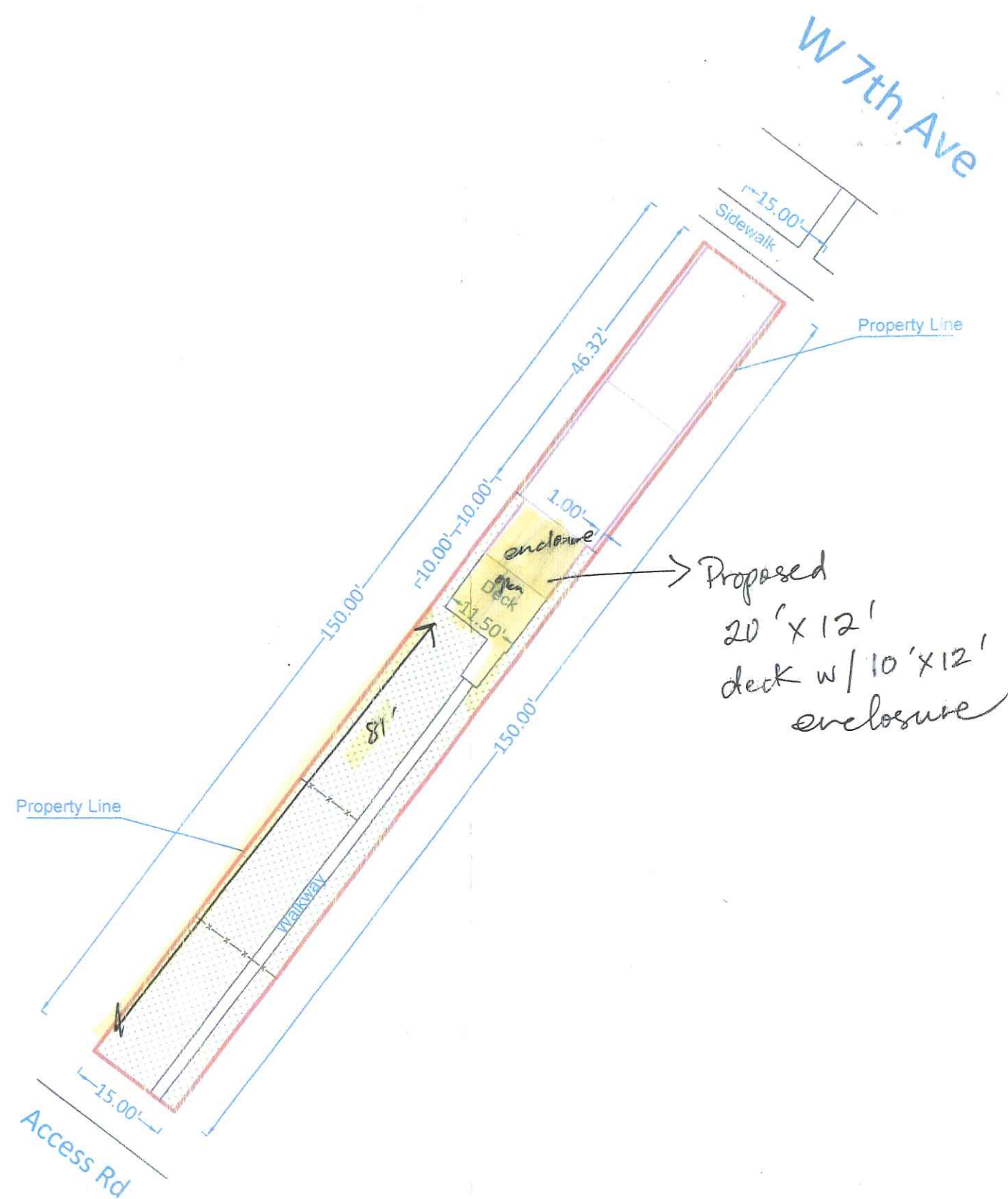
MOTION:

CONDITIONS:

BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

DATE OF ORDER: _____



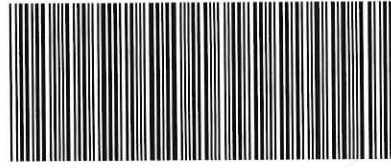
109 W 7th Ave
Conshohocken, PA 19428
Scale: 1"=20'



RECORDER OF DEEDS
MONTGOMERY COUNTY
Nancy J. Becker

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 5980 PG 00806 to 00810
INSTRUMENT # : 2015090671
RECORDED DATE: 12/01/2015 08:54:04 AM





3278035-0014Q

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

Document Type: Deed	Transaction #: 3301165 - 2 Doc(s)
Document Date: 11/30/2015	Document Page Count: 4
Reference Info:	Operator Id: dcane
RETURN TO: (Simplifile) Sage Premier 1055 East Baltimore Pike Media, PA 19063 (215) 589-2948	PAID BY: SAGE PREMIER
* PROPERTY DATA:	
Parcel ID #: 05-00-08124-00-7	
Address: 109 W SEVENTH AVE	
	CONSHOHOCKEN PA 19428
Municipality: Conshohocken Borough	(100%)
School District: Colonial	
* ASSOCIATED DOCUMENT(S):	
CONSIDERATION/SECURED AMT: \$205,000.00	DEED BK 5980 PG 00806 to 00810
TAXABLE AMOUNT: \$205,000.00	Recorded Date: 12/01/2015 08:54:04 AM
FEES / TAXES:	
Recording Fee:Deed	\$95.00
State RTT	\$2,050.00
Conshohocken Borough RTT	\$1,025.00
Colonial School District RTT	\$1,025.00
Total:	\$4,195.00
<p>I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.</p>	
	
	
<p>Nancy J. Becker Recorder of Deeds</p>	

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.

Fee Simple Deed
Prepared By:
 Sage Premier Settlements
 160 Market Street
 Collegeville, PA 19426
 484-902-1930
Return To:
 Sage Premier Settlements
 160 Market Street
 Collegeville, PA 19426
 484-902-1930

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
 05-00-08124-00-7 CONSHOHOCKEN BOROUGH
 109 W SEVENTH AVE
 COOPER JENNA R & BARBER AARON T \$15.00
 B 029 L U 048 1101 12/01/2015 ND

Parcel Number: 05-00-08124-00-7
 File No: 160135CLGS

UNOFFICIAL COPY
 DEED 5980 00806

(Space above this line for Recorder of Deed Use Only)

This Deed Indenture

Made this 30th day of November, 2015

Between

Jenna R. Cooper and Aaron T. Barber,, unmarried (hereinafter called the Grantors)

And

Tracey Santangelo MacArthur unmarried (hereinafter called the Grantee),

Witnesseth That the said Grantors for and in consideration of the sum of Two Hundred Five Thousand and 00/100 Dollars (\$205,000.00) lawful money of the United States of America, unto Grantors well and truly paid by the said Grantee and at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee and Grantee's heirs, successors and/or assigns as sole owner,

All that certain lot or piece of land, with the frame dwelling thereon erected, known as No. 109 West Seventh Avenue, situate in the Borough of Conshohocken, County of Montgomery and State of Pennsylvania, bounded and described as follows:

Beginning at a stake on the Southwest side of Seventh Avenue, at a distance of 69.18 feet Northwesterly from Forrest Street, a corner of this and land about to be conveyed to Mary Geary; thence by and along said Geary's land and through the middle of the partition wall of the house erected upon these premises and the one on the adjoining premises, Southwesterly, 140 feet to a 20 feet wide alley; thence by and along the Northeasterly side of said alley, Northwesterly, 13.72 feet to a stake, a corner of land now or late of Ralph Giovanni; thence by and along the said Giovanni's land and parallel with said Forrest Street, Northeasterly, 140 feet to the Southwest side of Seventh Avenue, aforesaid; thence by and along said side of said Seventh Avenue, Southeasterly, 13.72 feet to the place of beginning.

Being the same premises which Robert L. Perino by Deed dated 8/5/2010 and recorded 8/9/2010 in Montgomery County in Deed Book 5776 Page 346 conveyed unto Jenna R. Cooper and Aaron T. Barber, as joint tenants with the right of survivorship, in fee.

The improvements thereon being known as 109 W. 7th Avenue

Parcel ID#: 05-00-08124-00-7

Subject to all existing rights of way, conditions, easements, restrictions, rights, agreements, notes and other matters of record to the extent valid and enforceable and still applicable to the above-described premises.

Together with all and singular improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof, and all the estate, right, title, interest, property, claim and demand whatsoever of the said Grantor and Grantor's heirs, successors and/or assigns, as well at law as in equity, of, in, and to the same.

To have and to hold the said premises above described with the hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantee as sole owner, her Personal Representatives, heirs and assigns,

And the said Grantors do hereby covenant to and with the said Grantee, that they, the said Grantors, their Personal Representatives, heirs and/or assigns, shall and will warranty and forever defend the hereinabove described premises, with the hereditaments and appurtenances, unto the said Grantee, her Personal Representatives, heirs and/or assigns, against the said Grantors and against every other person lawfully claiming or who shall hereafter claim the same or any part thereof, by, from or under it, them or any of them.

In Witness Whereof, the said Grantors has caused these presents to be duly executed dated the day and year first above written.

WITNESS:

[Signature]

Jenna R. Cooper
Jenna R. Cooper

STATE OF Delaware CITY/COUNTY OF New Castle to wit:

I HEREBY CERTIFY, that on this 30 day of November, 2015, before me, the subscriber, a Notary Public of the State of Delaware in and for New Castle County/City, personally appeared, **Jenna R. Cooper** known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged the foregoing Deed to be his act, and in my presence signed and sealed the same

IN WITNESS WHEREOF, I hereunto set my hand and official seal:

Christine W. Grimes
Notary Public

My Commission Expires: 11-6-18



In Witness Whereof, the said Grantors has caused these presents to be duly executed dated the day and year first above written.

WITNESS:

[Signature]

[Signature]
Aaron T. Barber

STATE OF Delaware CITY/COUNTY OF New Castle to wit:

I HEREBY CERTIFY that on this 30 day of November, 20 15, before me, the subscriber, a Notary Public of the State of Delaware in and for New Castle County/City, personally appeared, **Aaron T. Barber** known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged the foregoing Deed to be his act, and in my presence signed and sealed the same

IN WITNESS WHEREOF, I hereunto set my hand and official seal:

[Signature]
Notary Public

My Commission Expires: 11-6-18



FOLIO/PARCEL:
05-00-08124-00-7

PREMISES:
109 W. 7th Avenue
Conshohocken, PA 19428
Montgomery County

MAIL TAX BILLS TO:

I HEREBY CERTIFY THAT THE ADDRESS OF THE GRANTEE IS:
109 W. 7th Avenue
Conshohocken, PA 19428
Montgomery County

Certified by: [Signature]



BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

ZONING NOTICE NOVEMBER 20, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-23

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on November 20th, 2023, at 6:15 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: David Szatkowski

PREMISES INVOLVED: 306 West 10th Avenue
Conshohocken, PA 19428
BR-1 – Borough Residential District 1

OWNER OF RECORD: David Szatkowski
306 West 10th Avenue
Conshohocken, PA 19428

The petitioner is seeking a Special Exception pursuant to Section §27-703.E.(6)(a) and a Variance from Section §27-1005.F of the Conshohocken Borough Zoning Ordinance for interior building alterations and roof replacement and extension of an existing 104 SF one (1)-story rear addition of the existing nonconforming single-family semi-detached twin dwelling to cover an additional 128 SF portion of a proposed rear concrete patio reconstruction and expansion. The new roof extension of the proposed rear concrete patio will increase the total building coverage on the site from an existing 33% to 36.5%, whereas only a maximum building coverage of 35% is permitted within the BR-1 – Borough Residential District 1.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: November 14, 2023
To: Stephanie Cecco, Brittany Rogers
From: Allison A. Lee, PE
Re: 306 West Tenth Avenue - Zoning Determination

History of the Site:

306 West Tenth Avenue is comprised of an existing non-conforming single-family semi-detached (twin) residential dwelling that was constructed in 1925. The 3,500 SF property is located within the BR-1 - Borough Residential District 1 zoning district. The site is fronted by West Tenth Avenue to the south; an approximately 20-foot wide unnamed alley to the north; and residential properties also located within the BR-1 zoning district to the east and west. A detached garage and an off-street parking space is located to the rear of the property with access from the unnamed alley. There is wooden fencing surrounding the rear of the property. Also located to the rear of the dwelling is an existing concrete and paver patio.

Current Request:

Post building permit application (#23-00729) submission, the Applicant has clarified that he is not proposing any building additions to the existing dwelling nor any changes to the existing detached garage and off-street parking area. The Applicant had resubmitted plan mark-ups for interior building alterations to the current first floor mud room, powder room, dining room/kitchen wall partition, and kitchen renovations; as well as second floor renovations to the existing bathroom, three (3) bedrooms, and closets. The Applicant is also proposing replacement of the existing backyard patio with a new approximately 250 SF (16'-7 3/4" wide x 15' long) concrete patio slab and new steps down to grade. In addition, the existing approximately 104 SF (16' - 10 3/4" wide x 6'-2" long) roof over the proposed extended kitchen area will be replaced and expanded to add an additional 128 SF of new roof over a 16' wide x 8' long portion of the proposed reconstructed concrete patio.

The Applicant is seeking a Special Exception pursuant to Section §27-703.E.(6)(a) and a Variance from Section §27-1005.F of the Conshohocken Borough Zoning Ordinance for interior building alterations and roof replacement and extension that will increase the total building coverage on the site from an existing 33% to 36.5%, whereas only a maximum building coverage of 35% is permitted within the BR-1 - Borough Residential District 1.

Zoning Determination:

The above referenced property is located within the BR-1 - Borough Residential District 1 zoning district, and is subject to provisions of Part 7 of the Conshohocken Borough Zoning Ordinance for nonconforming structures, uses, and lots.

Per Section §27-702.B of the Borough Zoning Ordinance, a nonconforming building or structure is any existing lawful building or structure that does not conform to the height, location, size, bulk, or other dimensional requirements of the district in which it is located. The existing building is 17-feet and 11 ¾ inches wide and does not conform to the required 20-foot minimum building width of the BR-1 zoning district in accordance with §27-1005.I. Therefore, the existing dwelling is classified as an existing non-conforming building based on building width.

Per §27-703.E.(5) & (6)(a) of the Borough Zoning Ordinance, a nonconforming building may be expanded only in compliance with § 27-703(E)(6) of this Chapter and extension and/or expansion as permitted in § 27-703(E)(1) through (5) above, shall be permitted only by special exception in accordance with Part 6 of this Chapter, only to the extent that all new construction shall comply with the dimensional standards of the district in which the use is located or the district in which the use is permitted, whichever is more restrictive. A Special Exception pursuant to Section §27-703.E.(6)(a) will be required from the Conshohocken Borough Zoning Hearing Board for approval to permit the roof expansion of the nonconforming building.

Per Section §27-1005.F of the Borough Zoning Ordinance, the maximum building coverage shall not exceed 35% of the lot area. Building coverage for private garages shall be subject to the provisions of Section §27-811.C. Based on our calculations, the current building coverage is 1,153 SF (or approximately 33%). With the proposed additional 128 SF roof expansion over the new patio area, the total building coverage will result in an increase to 1,281 SF (or approximately 36.5%), which exceeds the maximum 35% building coverage permitted within the BR-1 zoning district. Therefore, a variance from Section §27-1005.F will be required to permit a building coverage of 36.5%.

The current impervious coverage on the site is approximately 1,762 SF (or approximately 50%). With the proposed roof extension and expansion over the existing impervious coverage of the reconstructed concrete patio and steps, the total impervious coverage on the site will remain unchanged at approximately 50%, which is in compliance with the required 60% maximum impervious coverage of the BR-1 zoning district.



BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR

Yaniv Aronson

BOROUGH COUNCIL

Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

September 22, 2023

Applicant:

Erwin A. Baum
Erwin Anthony Builders, Inc.
3039 Fisher Road
Lansdale, PA 19446

Property Owners:

Diane Santos and David Szatkowski
306 W. 10th Avenue
Conshohocken, PA 19428

**Re: 306 W. 10th Avenue, Conshohocken, PA
Building Permit Application #23-00729**

Conshohocken Borough is in receipt of the above referenced Building Permit application submitted for the demolition of the existing rear one (1)-story portion of the existing single-family semi-detached (twin) dwelling and concrete patio to construct a new two (2)-story building addition and new roof extension, new covered patio and concrete patio reconstruction; partial demolition of the existing garage to widen the garage from 9'-6" to 11'-8" and new roof over the existing parking area adjacent the garage; as well as, interior building alterations.

The above referenced property is located within the BR-1 – Borough Residential District 1 zoning district., and is subject to provisions of Part 7 of the Conshohocken Borough Zoning Ordinance for nonconforming structures, uses, and lots.

Per Section 27-702.B of the Borough Zoning Ordinance, a nonconforming building or structure is any existing lawful building or structure that does not conform to the height, location, size, bulk, or other dimensional requirements of the district in which it is located. The existing building does not conform to the required 20 feet minimum building width of the BR-1 zoning district in accordance with Section 27-1005.I. Therefore, the existing dwelling is classified as an existing non-conforming building since the building does not conform to the building width dimensional requirement of the BR-1 zoning district.

Per Section 27-703.E.(5) & (6)(a) of the Borough Zoning Ordinance, a nonconforming building may be expanded only in compliance with § 27-703(E)(6) of this Chapter and extension and/or expansion as permitted in § 27-703(E)(1) through (5) above, shall be permitted only by special exception in accordance with Part 6 of this Chapter, only to the extent that all new construction shall comply with the dimensional standards of the district in which the use is located or the district in which the use is permitted, whichever is more restrictive. A Special Exception pursuant to Section 27-703.E.(6)(a) will be required from the Conshohocken Borough Zoning Hearing Board for approval to permit the expansion of the nonconforming building.

Per Section 27-1005.F of the Borough Zoning Ordinance, the maximum building coverage shall not exceed 35% of the lot area. Building coverage for private garages shall be subject to the provisions of Section 27-811.C. Based on our calculations, the current building coverage is approximately 1,153 SF or approximately 33%. With the proposed roof over the new patio, expanded garage, and parking area adjacent the expanded garage, will result in the total building coverage of 45.48%, which exceeds the maximum building coverage permitted within the BR-1 zoning district. Therefore, a variance from Section 27-1005.F will be required to permit a building coverage of 45.48%.

Since the proposed building expansion to the existing nonconforming single-family semi-detached (twin) dwelling requires zoning variance and Special Exception approvals from the Conshohocken Borough Zoning Hearing Board as noted above, this Building Permit application for the referenced property is **denied** at this time.

If you have any questions or concerns, please feel free to contact the undersigned at 484-243-6073 or zoning@conshohockenpa.gov.

Sincerely,



Allison A. Lee, PE
Zoning Officer
PENNONI ASSOCIATES INC.
AAL/

cc: Stephanie Cecco
Michelle Summers
Ray Sokolowski



BOROUGH OF CONSHOHOCKEN

400 Fayette Street, Suite 200, Conshohocken, PA 19428

Phone (610) 828-1092 Fax (610) 828-0920

BOROUGH of CONSHOHOCKEN
OCT 20 '23 PM 2:08

RECEIVED

Zoning Application

Application: 2-2023-23
Date Submitted: 10/20/23
Date Received: 10/20/23

1. Application is hereby made for:

Special Exception Variance

Appeal of the decision of the zoning officer

Conditional Use approval Interpretation of the Zoning Ordinance

Other _____

2. Section of the Zoning Ordinance from which relief is requested:

27-005.F Building coverage percentage exceeds 35%

3. Address of the property, which is the subject of the application:

306 W 10th Avenue, Conshohocken, PA 19428

4. Applicant's Name: David Szatkowski

Address: 306 W 10th Avenue, Conshohocken, PA 19428

Phone Number (daytime): +1.215.896.3637

E-mail Address: davidszatkowski@hotmail.com

5. Applicant is (check one): Legal Owner Equitable Owner ; Tenant

6. Property Owner: David Szatkowski (Deed)

Address: 306 W 10th Avenue

Phone Number: +1.215.896.3637

E-mail Address: davidszatkowski@hotmail.com

7. Lot Dimensions: 25' X 140" Zoning District: BR-1

8. Has there been previous zoning relief requested in connection with this Property?
Yes No If yes, please describe.

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

The property is the current residence of owner and spouse. A 6' fence added Dec 10, 2022 to address security and privacy issues with adjacent property owners located at #308 W 10th Avenue. Current structures include: 1) House dimensions of 11' 11 3/4" X 53' (953 S.F.D.); and 2) garage of 9'6" X 20'8" (196 S.F.D).

10. Please describe the proposed use of the property.

Proposed use to continue as residential.

11. Please describe proposal and improvements to the property in detail.

Proposed improvements include: Current 1st floor mud room, powder room, and kitchen renovations, including removal of Dining/Kitchen wall partition. Basement pocket door to be widened to a 32" width. Foundation of existing mud room/powder room to be improved to meet code. Existing backyard patio to be replaced with concrete patio slab (16' 7 3/4" X 15') constructed on top of compacted fill with 4" of gravel and 4' of concrete. New steps down to grade. New patio roof 16' X 8' (128 sqft) with asphalt shingles. The additional 128 sqft patio roof exceeds the 35% lot coverage to 36.5%. New yard drainage at base of patio.

Front porch existing glass partition will be replaced with a solid privacy wall.

2nd Floor - Renovate existing bathroom, three (3) bedrooms, and closets (hall/bedrooms).

Items not requested in the application are: No 2nd floor extension above 1st floor existing mud/powder room. No changes to garage or existing parking area, which have been marked as excluded in the design documents.

Note: Permit application for new asphalt/flintastic roof replacement, including proposed 8' roof extension over partial patio, will be submitted, in conjunction with neighbors residing at #304 W 10th Avenue, Conshohocken.

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

The proposed lot coverage of 36.5% exceeds the allowable 35% by only 1.5% adding value to the property with 8' extended roof coverage. This allows for additional use of patio area protected from natural elements and provides privacy to residents.

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property: Special exception requested:
Original residential dwelling with detached with detached garage use to remain compatible with neighborhood.

b. How the Zoning Ordinance unreasonably restricts development of the property:
There are numerous residential properties within a 1-2 block radius with patio roofs, many larger than 8'. There are also several properties with significantly larger building areas.

c. How the proposal is consistent with the character of the surrounding neighborhood.
The proposed patio roof would remain consistent with neighborhood properties that include smaller backyard additions and/or patio roofs.

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed.
The requested relief would enable greater functional use of the backyard patio with additional privacy from neighbors residing at #308 W 10th.

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.

a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

Not applicable as determination is not being contested.

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

Not applicable

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

Not applicable

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

Not applicable

c. Please describe in detail the reasons why the requested relief should be granted.

Not applicable

16. If the applicant is being represented by an attorney, please provide the following information.

a. Attorney's Name: Not applicable

b. Address: Not applicable

c. Phone Number: Not applicable

d. E-mail Address: Not applicable

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.

David Szatkowski

David Szatkowski

Applicant

David Szatkowski

David Szatkowski

Legal Owner

October 20, 2023

October 20, 2023

Date

COMMONWEALTH OF PENNSYLVANIA

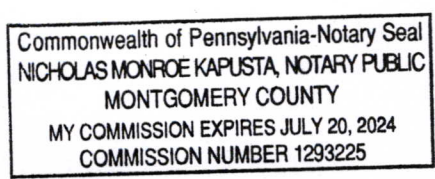
COUNTY OF MONTGOMERY

As subscribed and sworn to before me this 20th day of October, 2023.

Nicholas Monroe Kapusta

Notary Public

(Seal)





BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Decision

(For Borough Use Only)

Application Granted

Application Denied

MOTION:

CONDITIONS:

BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

DATE OF ORDER: _____

Permit Application #23-00729
Address: 306 W 10th Avenue, Conshohocken PA 19428
Property Owners David & Dianne (nee Santos) Szatkowski
September 29, 2023
Cross Reference to Architect Design Documents

Design Document Page Reference – Description (primarily areas are removal of 2nd floor expansion and Garage/Parking area).

1. A-000:
 - a. 1/A000: Existing Site Plan.
 - i. Remove “roof of ex 1 car garage to be removed”
 - ii. Remove “portion of ex conc patio to be removed for expanded garage”
 - b. 2/A000: Proposed Site Plan.
 - i. Remove: “ outline of new 2 story rear addition”; “new roof slope”
 - ii. Remove proposed garage and parking area. “New expanded 1 car garage”; “outline of garage BLW roof”; “new steps down to grade”; “new covered rear parking spot”
2. A-100
 - a. 2/A100: Demolition Second Floor
 - i. Remove Demo of rear exterior wall
 - ii. Replace exterior roof/ slope – extend to 8’ over backyard concrete patio
 - iii. Demo plaster walls and ceilings of Bed #1, Bed #2, Bed #3 and Bath.
 - b. 1/A100: Demolition of First Floor
 - i. 1.8 modify stair landing hand/guard rail to the proposed built in cabinets.
 - c. B/A100 Demolition Plan Basement
 - i. Remove “1.1” remove existing door
3. A-101
 - a. 3/A101: Demolition Plan Garage Roof – REMOVE. Keep garage and steps as is
 - b. 2/A101: Demolition Plan Garage Roof – REMOVE. Keep garage as is. Keep steps, garage door/ gate as is
 - c. 1/A101: Demolition Plan Roof – replace roof at slope to extend 8’ over concrete patio
4. A-200
 - a. 2/A200: Proposed Plan Second Floor
 - i. REMOVE Bed #3 expansion. Keep dimensions as is. Replace plaster walls/ceiling.
 - ii. REMOVE Bed #2 modifications. Keep dimensions as is. Replace plaster walls/ceiling.
 - iii. CHANGE Bed #1 modification. Move 9’x2’ closet to opposite corner with dimensions of 5’ x 2’.
 - iv. CHANGE Existing roof slope to extend 8’ over concrete patio. 3” per 1”
 - b. 1/A200: Proposed Plan First Floor
 - i. 1/A200:
 1. CHANGE Living Room built in cabinets to 135” x 2’ dimension to stairway landing
 2. CHANGE Kitchen window to 4’ x 4’ dimension.
 3. UPDATE: Exterior Existing fence/side gate in place

Permit Application #23-00729
Address: 306 W 10th Avenue, Conshohocken PA 19428
Property Owners David & Dianne (nee Santos) Szatkowski
September 29, 2023
Cross Reference to Architect Design Documents

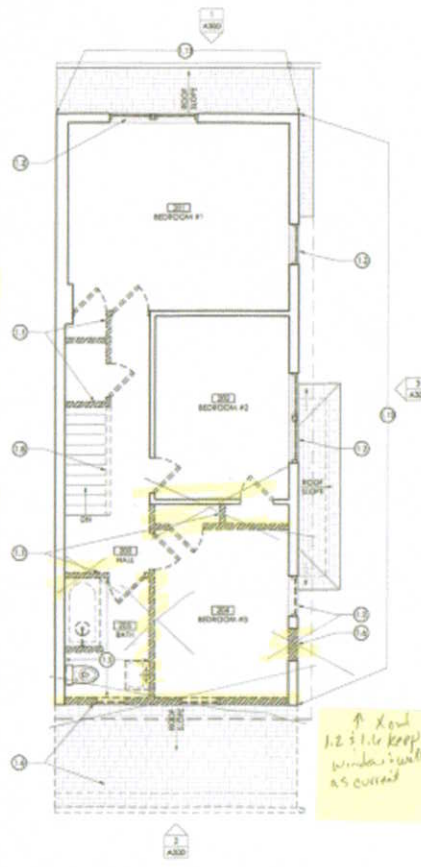
4. UPDATE: Kitchen
 - a. 27" Sink aligned with smaller 4' x 4' kitchen window
 - b. New French doors – switch fixed door to closet to oven
- ii. B/A200 Proposed Plan Basement: REMOVE. There are no changes to basement
5. A-201
 - a. 3/A201 Propose Plan Garage Roof: REMOVE. No changes to garage/parking spot
 - b. 3/A201 Propose Plan Garage Roof: REMOVE. No changes to garage/parking spot
 - c. 3/A200 Propose Plan Roof: REMOVE. No 2nd floor expansion. Change existing roof slope to extend 8' over concrete patio. 3" per 1"
6. A-300 Exterior Elevation
 - a. NOTE: REAR ELEVATION OF HOUSE – No 2nd Floor expansion to roof slope to extend 8' over replacement concrete patio
 - b. REMOVE: "remove ex garage wall & roof". No changes to existing garage/parking
 - c. 4/A300: REMOVE – No changes to existing garage/parking / fence/ gates/door/steps
 - d. 5/A300: REMOVE - No changes to existing garage/parking / fence/ gates/door/steps
7. A-301 Proposed Exterior Elevations
 - a. REMOVE . No changes to existing garage/parking/fence/gates/door/steps
 - b. REMOVE 2nd floor expansion.
 - c. 4/A301 REMOVE . No changes to existing garage/parking/fence/gates/door/steps
 - d. 5/A301 REMOVE . No changes to existing garage/parking/fence/gates/door/steps
 - e. 2/A301: REMOVE:
 - i. No Roof slope changes to existing "flat" roof area
 - ii. No 2nd floor expansion.
 - iii. No change to Existing fence
 - iv. CHANGE: Kitchen window D dimensions changed to 4' x 4'
 - v. CHANGE: Kitchen French door fixed door moved to other side closet to oven
8. A-310 Proposed Building
 - a. 2/A310 – remove 2nd floor expansion
 - i. Bed # 2 remains with existing room and window dimensions. Replace plaster walls/ceilings.
 - ii. Bed #3 remains with existing room and window dimensions. Replace plaster walls/ceilings.
 - iii. Bath – Remains in existing location. . Replace plaster walls/ceilings.
 - iv. Bed #1 remains with existing room and window dimensions. Replace plaster walls/ceilings. Add 5' x 2' closet
9. A-400 Kitchen Elevation Plan/Int
 - a. 1/A400
 - i. Change Kitchen window from 6' to 4' x 4'. Extend wall
 - ii. Change location of fixed French door to closet to oven
 - b. 3/A400
 - i. Change Kitchen window from 6' to 4' x 4'. Extend wall

Permit Application #23-00729
Address: 306 W 10th Avenue, Conshohocken PA 19428
Property Owners David & Dianne (nee Santos) Szatkowski
September 29, 2023
Cross Reference to Architect Design Documents

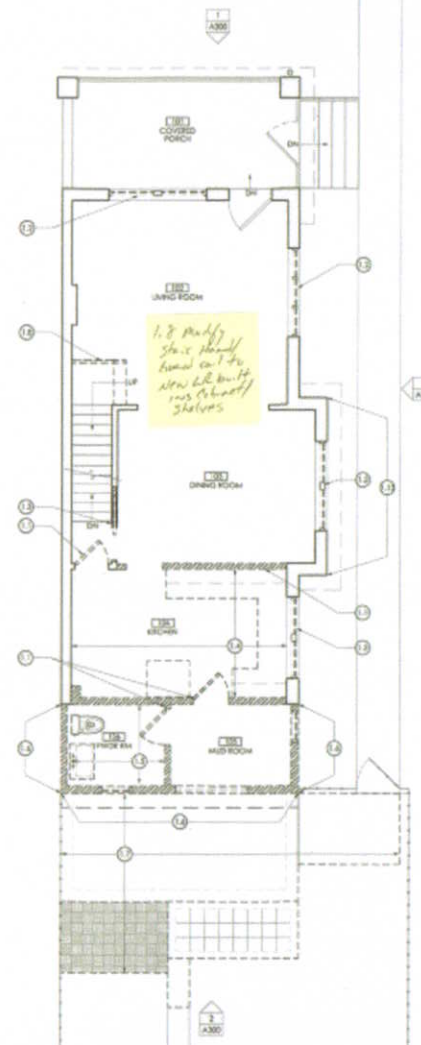
- c. 4/A400
 - i. Change location of fixed French door to closest to oven
- 10. A-401 Bath Plans – No change to location or dimensions. Replace tub, floor, tiles, toilet, vanity
 - a. 6/A401 – REMOVE
 - b. 7/A401 – REMOVE
 - c. 8/A401 – REMOVE
 - d. 9/A401 – REMOVE
 - e. 10/A401 – REMOVE
- 11. A-402 Media Cabinet & Privacy Screen
 - a. 2/A402
 - i. CHANGE Cabinet width of 135” up to existing stairway landing
 - ii. CHANGE Hand/guard rail on stairway landing to first floor
- 12. A-600 Proposed Reflected Ceiling Plans
 - a. 2/A600
 - i. Bed #1 – change location and size of closet to 5’x2’ opposite corner
 - ii. Hall – no hall ceiling access to attic. Remain in hallway closet ceiling
 - iii. Bed #2 – no change to room location/dimensions/closet
 - iv. Bath – no change to room location/dimensions
 - v. Bed #3 - no change to room location/dimensions
 - b. B/A600 REMOVE – No change to storage closet, laundry/mechanicals/ no bath added
- 13. A-601 Proposed Ceiling Plans Garage
 - a. Add Motion Sensor light to car park area
 - b. REMOVE Outlet for garage opener
 - c. REMOVE Garage door alley light sconce
- 14. A-900
 - a. 104.1 French doors – change frame dimensions. switch fixed door side. Fixed door is closest to oven
 - b. 106.2 REMOVE Garage door
 - c. D Kitchen window – change frame dimensions to smaller 4’ x 4’ window.
- 15. S-200 Framing Plans
 - a. 2/S200 – Second floor
 - i. Bed #1 – new closet 5’ x 2’. Remove 9’x2’ proposed closet
 - b. 1/S200 – first floor
 - i. Kitchen window – reduce existing 6’ wide kitchen window to a 4’ x 4’ window frame. Previous 2’ of window area will be Framed for wall
 - c. B/S200 – Foundations – no 2nd floor expansion.
- 16. S-201 Proposed Floor Plans – no 2nd floor expansion
 - a. 3/S201 – REMOVE. No changes to garage
 - b. 2/S201 – REMOVE. No changes to garage / parking foundations
 - c. 1/S201 – REMOVE. No 2nd floor expansion. No changes of slope to existing flat part of roof. Add – Extend 1st floor roof 8’ over replaced concrete patio



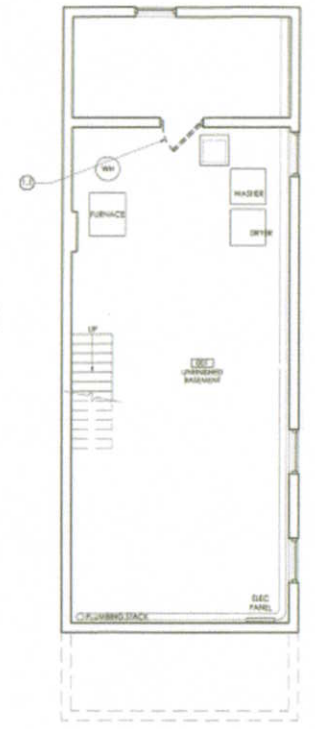




3 DEMOLITION PLAN - SECOND FLOOR
A1/B SCALE: 1/4"=1'-0"



1 DEMOLITION PLAN - FIRST FLOOR
A1/B SCALE: 1/4"=1'-0"



8 DEMOLITION PLAN - BASEMENT
A1/B SCALE: 1/4"=1'-0"

- DEMOLITION GENERAL NOTES:**
- CONTRACTOR TO COORDINATE THE PROTECTION OF ALL REMAINS AND ORNAMENT THROUGHOUT CONSTRUCTION. THE CONTRACTOR WILL REVIEW THE SCHEM AND SCHEDULING OF ALL PROTECTION WORK WITH THE OWNER, ARCHITECT AND APPROPRIATE SUBCONTRACTORS BEFORE PROCEEDING WITH WORK.
 - WORK SHALL INCLUDE DEMOLITION AND REMOVAL OF IDENTIFIED AREAS OF EXISTING WORK IN PLACE INCLUDING BUT NOT LIMITED TO: PARTITIONS, DOORS, FRAMES, HARDWARE, CEILING T.E. ETC. REFER TO DRAWINGS FOR EXTENT AND LOCATION OF DEMOLITION.
 - LIGHT FIXTURES, DOORS, BUICKS, HARDWARE, FLOORING FIXTURES, PIPES, SHEETROCK AND OTHER ITEMS NOT BEING REUSED SHALL BE REMOVED FROM THE PREMISES.
 - THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONCRETE LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH PANELS, ELECTRICAL WIRING AND EQUIPMENT. ALL ABANDONED ELECTRICAL WIRING SHALL BE REMOVED BACK TO THE PANELS OR ORIGINATED FROM ALL ABANDONED TELEPHONE AND OTHER LOW VOLTAGE WIRING SHALL BE REMOVED BACK TO THE POINT OF ORIGIN.
 - EXISTING PLUMBING (TUBS, SINKS, ETC.) WHICH ARE TO BE REMOVED MUST HAVE WATER SUPPLY TAPS OR PIPES TO DISCONNECTED AND BUSHINGS IN PLACE TO PREVENT FLOODING THE SPACE IF PIPES ARE DAMAGED DURING DEMOLITION. COORDINATE WITH BUILDING OWNER TO SCHEDULE PROPER SHUT-OFFS DURING DEMOLITION.
 - ALL ABANDONED PLUMBING AND PIPING UNITS MUST BE DISCONNECTED TO THE SERVICE FRONT AND CAPPED PROPERLY. CONTRACTOR TO CONTACT BUILDING OWNER TO SCHEDULE A SHUT-DOWN IF REQUIRED NECESSARY TO TEMPORARILY SHUTTER SYSTEMS TO PERMIT DISCUSSION OF THE DEMOLITION PROCESS. DEMOLITION CONTRACTOR TO GIVE A 48 HOUR WRITTEN ADVANCE NOTICE FOR ANY SHUT-DOWN A REQUEST FOR SHUT-DOWNS MUST BE IN WRITING FROM TO ANY APPROVAL.
 - IF DURING THE COURSE OF DEMOLITION, HAZARDOUS MATERIALS ARE ENCOUNTERED, ALL WORK IN THAT AREA IS TO STOP AND THE OWNER IS TO BE NOTIFIED.
 - CONTRACTOR TO MEASURE ALL LENGTHS INDICATED AS "NIP". CONTRACTOR TO PROVIDE MEASUREMENTS TO ARCHITECT BEFORE BEGINNING OF CONSTRUCTION.
 - ALL EXISTING FIRE SEPARATION WALLS SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. GC TO REPAIR AS REQUIRED IF DAMAGED.

- DEMOLITION PLAN DETAILS:**
- REMOVE EXISTING PARTITIONS & DOORS TO BE REMOVED.
 - REMOVE EXISTING WINDOWS.
 - ENLARGE EXISTING POCKET DOOR OPENING. SEE PROPOSED FLOOR PLAN FOR NEW DOOR SIZE.
 - REMOVE EXISTING KITCHEN FIXTURES, CABINETS, WALL FLOOR & CEILING FINISHES AND APPLIANCES.
 - REMOVE EXISTING BATHROOM FIXTURES AND TUBS.
 - REMOVE EX EXTERIOR WALLS AND ROOF.
 - REMOVE EXISTING REAR CONCRETE PATIO.
 - REMOVE EXISTING STAIR HANDRAIL AND GUARDRAIL.
 - REMOVE PORTION OF CONC. FASO FOR NEW GARAGE SLAB AND TOWERGE.
 - REMOVE EXISTING STEPS DOWN TO GRADE.
 - REMOVE EX GATE & GARAGE DOOR.
 - REMOVE ALL PLASTER AND LATH AT 2ND FLOOR WALLS & CORNICES.
 - REMOVE EXISTING CEDAR SHINGLES AT EXTERIOR.

- LEGEND:**
- EXISTING TO REMAIN
 - EXISTING WALL TO BE REMOVED
 - EXISTING FLOOR TRIMMING(SLAB) TO BE REMOVED
 - DOOR DEMOLITION
 - DEMOLITION SHOWN WITH CALL OUT

b+a+d
FACE Architecture+Design
122 E. Walnut St.
Harrisburg, PA 17101
PH: 610.243.0718
WWW.BADDESIGN.COM
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Project:
Conthohocken Addition
301 N. 10th Ave.
Conthohocken, PA 19028
Owner:
David Sponshoff
301 N. 10th Ave.
Conthohocken, PA 19028
General Contractor:
Dwyler Construction
General Construction
PH: 610.774.2824
Structural Engineer:
Lesko Engineering, LLC
121 N. 24th St. #710
Harrisburg, PA 17102
PH: 610.640.4027

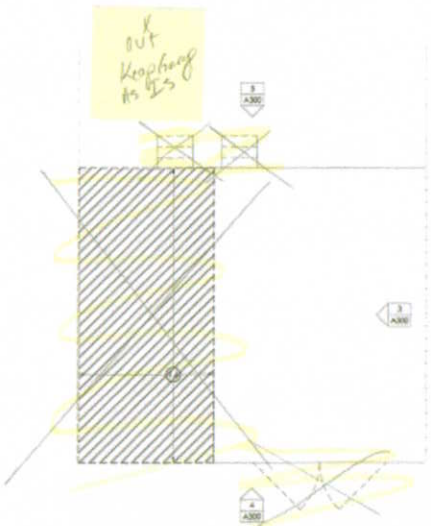


- 3D PLANS TO OWNER 07/27/01
- EXTERIOR GRADING 08/14/02
- DO SET TO OWNER 08/14/02
- DO SET TO OWNER 08/14/02
- DO SET TO OWNER 08/14/02
- INTERIOR DEMOLITION 08/14/02
- PROGRAM SET TO GC 10/01/01
- BUILDING PERMIT CHECK SET 10/01/01
- PROGRAM SET TO ENG 01/05/01
- FULL SET FOR NO. 01/05/01
- PERMIT SET 02/15/01
- ELECTRICAL REVISIONS 04/07/01
- BUILDING PERMIT SET TO OWNER 07/14/01

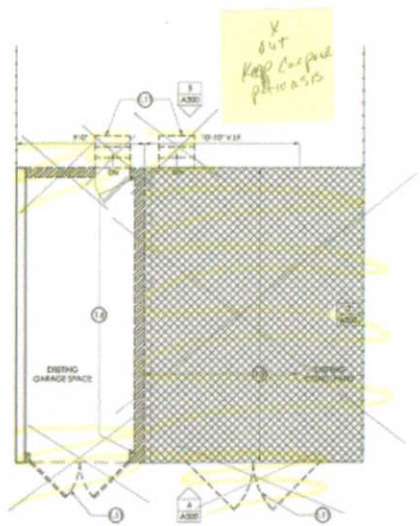
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DEMOLITION FLOOR PLANS

A-100



3 DEMOLITION PLAN - GARAGE ROOF
 ANI SCALE: 1/4"=1'-0"



3 DEMOLITION PLAN - GARAGE
 ANI SCALE: 1/4"=1'-0"



1 DEMOLITION PLAN - ROOF
 ANI SCALE: 1/4"=1'-0"

- DEMOLITION GENERAL NOTES:**
- CONTRACTOR TO COORDINATE THE PROTECTION OF ALL REMAINS AND SURROUNDING CONSTRUCTION. THE CONTRACTOR WILL REVIEW THE SCOPE AND SCHEDULING OF ALL PROTECTION WORK WITH THE OWNER, ARCHITECT AND APPROPRIATE SUBCONTRACTORS BEFORE PROCEEDING WITH WORK.
 - WORK SHALL INCLUDE DEMOLITION AND REMOVAL OF SELECTED AREAS OF EXISTING WORK IN PLACE INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, FINISHES, HARDWARE, CEILING TILES, ETC. REFER TO DRAWINGS FOR EXTENT AND LOCATION OF DEMOLITION.
 - LIGHT FIXTURES, DOORS, SUGGS, HARDWARE, PLUMBING FIXTURES, PIPES, SWITCHES AND OTHER FINISH NOT BEING REUSED SHALL BE REMOVED FROM THE PREMISES.
 - THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, ELECTRICAL WIRING AND EQUIPMENT. ALL ABANDONED ELECTRICAL WIRING SHALL BE REMOVED BACK TO THE PANEL IT ORIGINATED FROM. ALL ABANDONED TELEPHONE AND OTHER LOW VOLTAGE WIRING SHALL BE REMOVED BACK TO THE POINT OF ORIGIN.
 - EXISTING PLUMBING FIXTURES, SINKS, ETC., WHICH ARE TO BE REMOVED MUST HAVE WATER SUPPLY SHUT OFF PRIOR TO DISCONNECTING AND REMOVING THEM TO PREVENT FLOODING THE SPACE IF PIPES ARE DAMAGED DURING DEMOLITION. COORDINATE WITH BUILDING OWNER TO SCHEDULE PROPER SHUT OFFS DURING DEMOLITION.
 - ALL ABANDONED PLUMBING AND PIPING LINES MUST BE DISCONNECTED TO THE SERVICE POINT AND CAPPED PROPERLY. CONTRACTOR TO CONTACT BUILDING OWNER TO SCHEDULE A BUILDING OFFICER NECESSARY TO TEMPORARILY OBTAIN SYSTEMS TO PERMIT EXECUTION OF THE DEMOLITION PROCESS. BUILDING OWNER CONTRACTOR TO GET A WRIT. ENCLOSE JOINTLY HERETO FOR ANY SHUTDOWN. A REQUEST FOR SHUTDOWNS MUST BE IN WRITING PRIOR TO ANY APPROVAL.
 - IF DURING THE COURSE OF DEMOLITION, EXISTING HAZARDOUS MATERIALS ARE ENCOUNTERED, ALL WORK IN THAT AREA IS TO HALT AND THE OWNER IS TO BE NOTICED.
 - CONTRACTOR TO MEASURE ALL LENGTHS INDICATED AS "V" CONTRACTOR TO PROVIDE MEASUREMENTS TO ARCHITECT BEFORE BEGINNING OF CONSTRUCTION.
 - ALL EXISTING RECIPIRATION WALLS SHALL BE MAINTAINED AND BE PROTECTED THROUGHOUT CONSTRUCTION. GC TO REPAIR AS REQUIRED IF DAMAGED.

- DEMOLITION PLAN METHODE:**
- REMOVE EXISTING PARTITION & DOORS TO BE REMOVED.
 - REMOVE EXISTING WINDOWS.
 - ENLARGE EXISTING POCKET DOOR OPENING. SEE PROPOSED FLOOR PLAN FOR NEW DOOR SIZE.
 - REMOVE EXISTING KITCHEN FIXTURES (CABINETS, WALL, FLOOR, & CEILING FINISHES AND APPLIANCES).
 - REMOVE EXISTING BATHROOM FINISHES AND FIXTURES.
 - REMOVE EXISTING REAR WALL AND ROOF.
 - REMOVE EXISTING REAR CONCRETE PATIO.
 - REMOVE EXISTING STAIR HANDRAIL AND GUARDRAIL.
 - REMOVE PORTION OF CONC. FLOOR FOR NEW GARAGE SLAB AND FOOTINGS.
 - REMOVE EXISTING STEPS DOWN TO GRADE.
 - REMOVE EX GATE & GARAGE DOOR.
 - REMOVE ALL FLOOR AND LATH AT 2ND FLOOR WALLS & CEILING.
 - REMOVE EXISTING CEDAR SHINGLES AT EXTERIOR.

- LEGEND:**
- EXISTING TO REMAIN
 - EXISTING WALL TO BE REMOVED
 - EXISTING FLOOR FINISHING GLASS TO BE REMOVED
 - DOOR DEMOLITION
 - DEMOLITION DRAWING NOTE CALL OUT

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 PAICE Architecture + Design
 1211 Avenue D
 Mechanicsville, VA 23103
 Tel: 804.543.0718
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Project:
 Conshohocken Addition
 806 W 10th Ave
 Conshohocken, PA 19380

Owner:
 Donald Josephowski
 806 W 10th Ave
 Conshohocken, PA 19380

General Contractor:
 Ouyang Construction
 General Construction
 Tel: 484.772.0254

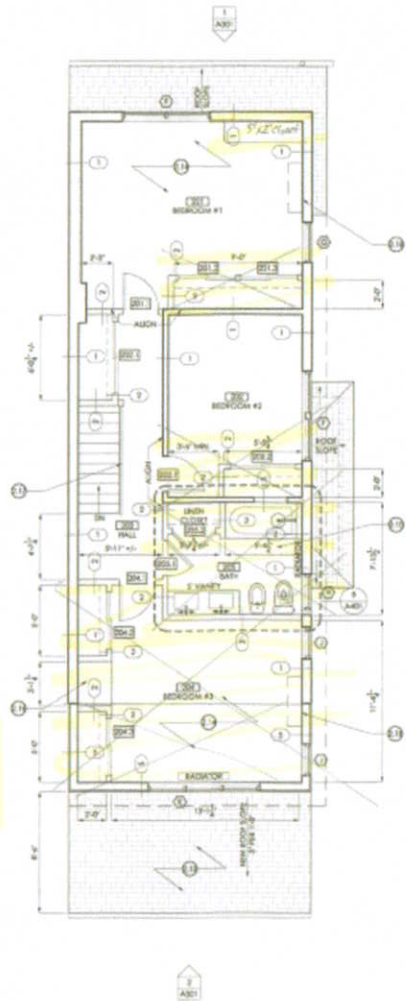
Structural Engineer:
 Leckie Engineering, LLC
 1211 Eagle Ave #200
 Mechanicsville, VA 23103
 Tel: 313.643.4827

PERMIT SET

SET PLANS TO OWNER
 07/27/20
 EXTERIOR OPTION
 08/04/20
 DO SET TO OWNER
 08/24/20
 DO SET TO OWNER
 08/24/20
 INTERIOR ELEVATIONS
 08/24/20
 PROGRESS SET TO GC
 08/25/20
 BUILDING PERMIT CHECK SET
 08/25/20
 PROGRESS SET TO INNO
 08/25/20
 ALL SET FOR SD
 08/26/20
 REPAIR SET
 08/27/20
 ELECTRICAL SCHEDULE
 08/31/20
 BUILDING PERMIT SET TO OWNER
 09/04/20

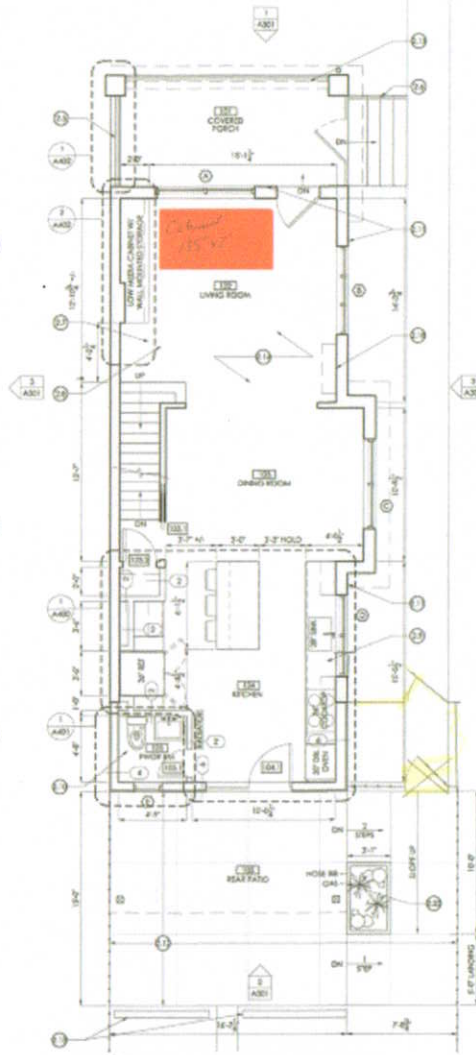
Revised:
 Date: 10/14/21
 Drawn by: SE

DEMOLITION FLOOR PLANS
 A-101

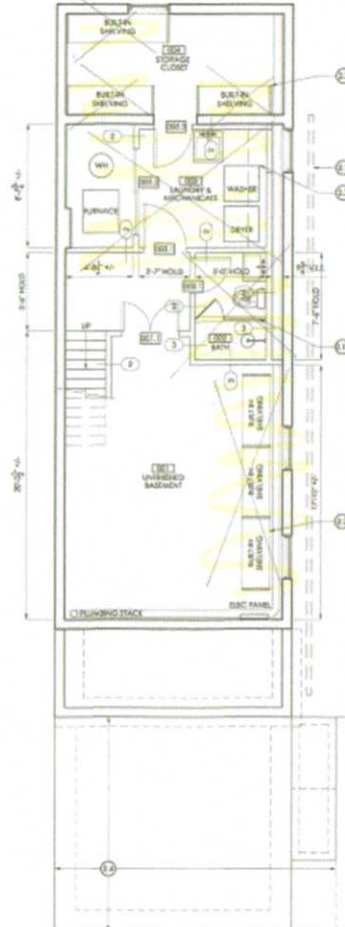


1 PROPOSED PLAN - SECOND FLOOR
ASB SCALE: 1/4"=1'-0"

Existing wall to
Align 100'
3' from 10'
5' from 10'



1 PROPOSED PLAN - FIRST FLOOR
ASB SCALE: 1/4"=1'-0"



1 PROPOSED PLAN - BASEMENT
ASB SCALE: 1/4"=1'-0"

- FLOOR PLAN GENERAL NOTES:**
1. ALL INTERIOR WALLS TO BE 3/4" HD STUD (UNLESS NOTED OTHERWISE).
 2. ALL CEILING JOISTS TO BE 16" O.C.
 3. ALL INTERIOR BEARING WALLS SHALL BE 8" INCHES THICK W/ 10% WOOD BLOCK FOR FLARE UNLESS NOTED OTHERWISE.
 4. PROVIDE CONCRETE BACKER BEHIND ALL WET AREAS IN KITCHEN & BATHROOMS.
 5. ALL DOORS TO BE READY TO OPEN FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE AND TO BE KEPT OPEN UNLESS OTHERWISE NOTED.
 6. ALL EXTERIOR (STRUCTURAL) WOOD MEMBERS & WOOD-LOCATED WIRING OF SOL OR CONCRETE CONTRACT W/ CONCRETE SHALL BE PRESSURE TREATED TO RESIST BEET & TERMITES.
 7. PROVIDE FOLLOW-UP SOUP-BLOCKING UNDER ALL STRUCTURAL POSTS TO FOUNDATION.
 8. PROVIDE TILES SUCCESSIVE AS REQUIRED LOCATIONS FOR THE INSTALLATION OF CABINETS, SINKS, AND ALL WALL MOUNTED ITEMS.
 9. INSTALLATION OF FRAMING SHALL COMPLY W/ ALL APPLICABLE CODES & LOCAL ORDINANCES.
 10. ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS SHALL BE FULLY COORDINATED BY THE CONTRACTOR TO VERIFY ALL DIMENSIONS, TYPES, DEPARTMENTS, SIZES, RISERS, & ALL DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.
 11. WINDING W/ 3/4" GREATER THAN 7/8" ANY OUTSIDE GRADE AND LESS THAN 1/2" 3/4" ANY IN-SIDE GRADE SHALL NOT OPEN MORE THAN 4". IF WINDING IS THAT CONCRETE OPEN MORE THAN 4" PROTECTIVE GLASS OR TEMPERED SAFETY GLASS WINDOWS W/ HARDWARE THAT LIMITS WINDOW OPENINGS TO LESS THAN 4" SHALL BE INSTALLED. IF PROTECTIVE GLASS ARE INSTALLED, EGRESS REQUIREMENTS MUST BE MAINTAINED.
 12. EVERY SLIDING OR SWINGING DOOR SHALL HAVE (1) AN OPERABLE WINDOW APPROVED FOR EMERGENCY EGRESS UNITS MUST BE OPERABLE FROM INSIDE TO A FULL CLEAR OPENING WIDTH OF SEPARATE TOOL EGRESS WINDOWS SHALL HAVE:
 - 12.1. 3/4" MIN. HEIGHT - NO MORE THAN 48" HIGH
 - 12.2. MIN. NET CLEAR OPENING - 37" MIN
 - 12.3. MIN. NET CLEAR OPENING - 20" MIN
 - 12.4. MIN. NET CLEAR OPENING WIDTH - 20"
 13. CONNECT TO VERIFY AND CHECK MANUFACTURE FOR EACH DOOR AND WINDOW AND A QUALITY INSPECTION REQUIREMENTS BEFORE STARTING CONSTRUCTION.
 14. PROVIDE ROOF AND SHEET IN ALL NEW CLOSETS UNLESS NOTED.

- FLOOR PLAN DETAILS:**
1. NEW DRAIN TRAP AROUND PERIMETER BUILDING TO ADDRESS STANDING WATER AROUND SIDE OF HOUSE.
 2. NEW SIDE SHEETING.
 3. RELOCATE EXISTING STUDY SHED TO LOCATIONS SHOWN ON PLAN. PROVIDE SHEETING ABOVE SHED AND RAISED DRIVE.
 4. CURBING OF NEW FOUNDATIONS FOR NEW PERGOLA AND NEW REAR POURED CONCRETE PAD OR FOUNDATIONS FOR EXISTING 1 STORY PORTION OF BUILDING TO BE USE BY STRUCTURAL ENGINEER TO DETERMINE BEARING CAPACITY FOR 2ND FLOOR ADDITION.
 5. NEW PRIVACY SCREEN. SEE ENLARGEMENTS FOR ADDITIONAL DETAILS.
 6. NEW SP' GUARDRAIL AT EXISTING COVERED FRONT PORCH.
 7. NEW MEDIA CABINET. SEE ENLARGEMENTS FOR ADDITIONAL DETAILS.
 8. REAR STAIR TREAD AROUND EXISTING STAIR LANDING. NEW TREAD TO MATCH EXISTING TREAD WOOD SPECIES AND FINISH.
 9. NEW EYECON CONDENSATION. SEE ENLARGEMENTS FOR ADDITIONAL DETAILS.
 10. NEW POWDER ROOM / BATHROOM. SEE ENLARGEMENTS FOR ADDITIONAL DETAILS.
 11. PAINT EXISTING EXTERIOR STACOOD. SEE EXTERIOR ELEVATIONS FOR PAINT LOCATIONS.
 12. NEW POURED CONCRETE REAR PAD WITH FT WOOD PERGOLA. NEW PERGOLA TO HAVE VENTED METAL PANELS BELOW WITH ASPHALT SHINGLE ABOVE. FT ELEVATION SHALL BE 2'-0" ABOVE GROUND.
 13. PROVIDE 1/4" DRAIN AT BASE OF NEW POURED CONCRETE PAD.
 14. REPAIR AND FINISH ALL WOOD FLOORS AT 1ST AND SECOND FLOORS. NEW WOOD FLOORS TO MATCH EXISTING TO BE INSTALLED AT THE 2ND FLOOR ONLY.
 15. NEW RETRACTABLE PRIVACY SCREEN AT COVERED FRONT PORCH. SEE ARCHITECT'S CEILING PLAN FOR LOCATIONS.
 16. NEW SP' (BRICK) BULKHEAD CABINET BETWEEN NEW CLOSETS.
 17. NEW WOOD GUARDRAIL WITH FINISHED WOOD BALUSTERS TO 2ND FLOOR HALL.
 18. NEW WINDUP CARPETING TO BE INSTALLED AT FINISHED LOCATIONS.
 19. NEW FENCE ALONG PROPERTY LINE. INCLUDE 3/4" GATE TO REAR ALLEY.
 20. NEW BUILT UP PORTION OF ROOF FROM STRUCTURAL ENGINEER TO CORNER ROOF REPAIRING STRATEGY AFTER SEE VEB.
 21. NEW SPANDED GARAGE WITH NEWLY POURED CONCRETE SLAB AT GRADE. NEW ASPHALT SINGLE ROOF W/ OUTSIDE AND DOWNPOUT.
 22. NEW HOSE REEL AND GAS LINE FOR GRILL AT PLANTER BOX.

- LEGEND:**
- EXISTING WALL TO REMAIN
 - NEW WALL
 - DEBRING MORE CALL OUT
- WALL ASSEMBLY TYPE KEY:**
NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
SEE SHEET A-100 FOR WALL ASSEMBLY TYPE.



1100117
Cordhock Construction
300 W 10th Ave
Cordhock, PA 16828
Owner:
David Cordhock
Cordhock, PA 16828
General Contractor:
Oryka Construction
121 W. 10th Ave # 210
Hempfield, PA 15522
Ph: 863.719.3523
Structural Engineer:
Leslie Engineering, LLC
121 W. 10th Ave # 210
Hempfield, PA 15522
Ph: 863.719.3523

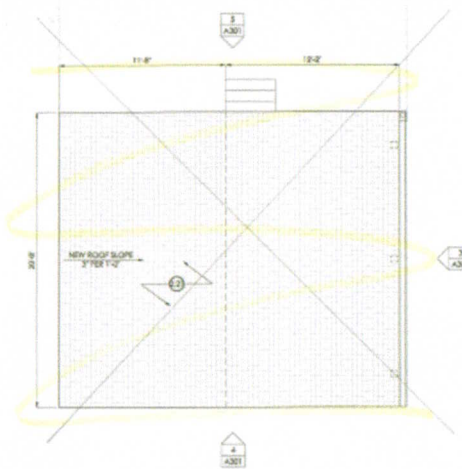


SO PLANS TO OWNER
07/27/20
EXTERIOR OPTION
08/15/2020
DO SET TO OWNER
08/04/2020
DO SET TO OWNER
08/04/2020
INTERIOR EXTERIOR
08/05/20
PROGRESS SET TO GC
02/27/21
BUILDING PERMIT CHECK SET
12/29/20
PROGRESS SET TO ENG
01/05/21
TILL SET FOR SO
01/05/21
PERMIT SET
02/11/21
ELECTRICAL REVISIONS
04/01/21
BUILDING PERMIT SET TO OWNER
12/14/21

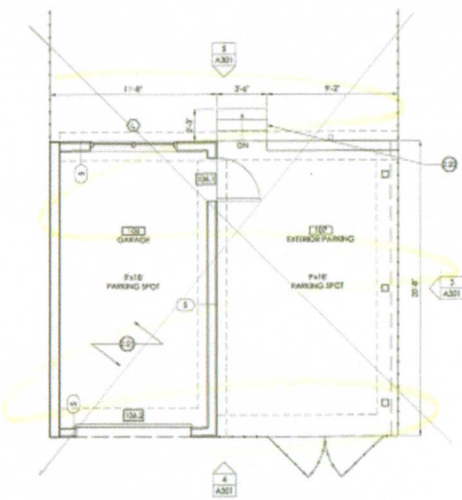
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Title:

PROPOSED FLOOR PLANS

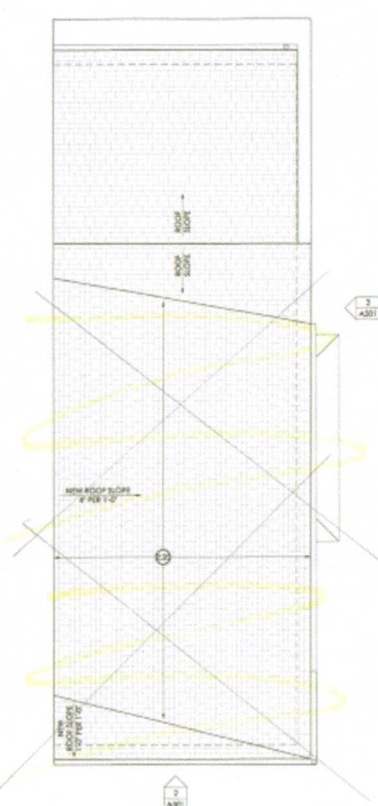
A-200



3 PROPOSED PLAN - GARAGE ROOF
ASB SCALE: 1/4"=1'-0"



3 PROPOSED PLAN - GARAGE
ASB SCALE: 1/4"=1'-0"



3 PROPOSED PLAN - ROOF
ASB SCALE: 1/4"=1'-0"

- FLOOR PLAN GENERAL NOTES:**
1. ALL INTERIOR WALLS TO BE 2" HD STUD UNLESS NOTED OTHERWISE.
 2. ALL WINDOWS ARE TO OPEN IN.
 3. ALL INTERIOR BEARING WALLS SHALL BE 2X6 STUDS @ 16" O.C. MAX. WOOD JOIST TOP PLATE UNLESS NOTED OTHERWISE.
 4. PROVIDE CROWN MOULDING AROUND ALL WEATHER KITCHEN & BATHROOMS.
 5. ALL WEATHER DOORS SHALL BE READY OPERABLE FROM THE SIDE FROM WHICH ACCESS IS TO BE MADE W/O THE USE OF A KEY OR SPECIAL KNOWLEDGE OR FORCE.
 6. ALL EXTERIOR STRUCTURAL WOOD MEMBERS & WOOD JOISTING W/IN 4' OF SOIL OR IN CONTACT W/ CONCRETE SHALL BE PRESURE TREATED TO RESIST DECAY & INSECT INFESTATION.
 7. PROVIDE FULL HEIGHT SOLID BLOCKING UNDER ALL STRUCTURAL POSTS TO FOUNDATION.
 8. PROVIDE SOLID BLOCKING AT REQUIRES LOCATIONS FOR THE INSTALLATION OF CABINETS, SHELVING, AND ALL WALL MOUNTED FIXTURES.
 9. INSTALLATION OF FRAMING SHALL COMPLY W/ ALL APPLICABLE CODES & LOCAL ORDINANCES.
 10. ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS SHALL BE FULLY COORDINATED BY THE CONTRACTOR TO VERIFY ALL DIMENSIONS, SIZES, DRAINAGE, TRAP, OUTLET RECESSES, BOLT DIMENSIONS, SIZES, ETC. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.
 11. WINDOWS W/ SLITS GREATER THAN 2" ARE OUTSIDE GRADE AND LESS THAN 48" OF ANY FINISH FLOOR SHALL NOT OPEN MORE THAN 4" IF WINDOWS INTENT CONDENSE DRAIN MORE THAN 4" PROTECTIVE GUARDS OR TINTED SAFETY GLASS WINDOWS W/ HARDWARE THAT LIMIT WINDOW OPENINGS TO LESS THAN 4" SHALL BE INSTALLED. IF PROTECTIVE GUARDS ARE INSTALLED, EGRESS REQUIREMENTS MUST BE MAINTAINED. EVERY SLIDING SW. SHALL HAVE (1) ONE OPERABLE WINDOW APPROVED FOR EMERGENCY EGRESS. UNITS MUST BE OPERABLE FROM INSIDE TO A FULL CLEAR OPENING AND USE OF SPRINGING TOOL. SLIDING WINDOWS SHALL HAVE:
 - 11.1. 8" MIN. HEIGHT AND MORE THAN 4" AP.
 - 11.2. MIN. NET CLEAR OPENING - 3.7' @
 - 11.3. MIN. NET CLEAR OPENING HEIGHT - 3' @
 - 11.4. MIN. NET CLEAR OPENING WIDTH - 2' @
 12. CONTRACTOR TO VERIFY AND CHECK MANUFACTURER FOR EXACT DOOR AND WINDOW SIZES & EGRESS OPENING REQUIREMENTS BEFORE STARTING CONSTRUCTION.
 13. PROVIDE FLOOR AND SHEET IN ALL NEW CLOSURES UNLESS NOTED OTHERWISE.

- FLOOR PLAN FINISHES:**
21. NEW DRAIN RES. AROUND PERIMETER BUILDING, TO ADDRESS STANDING WATER AROUND SIDE OF HOUSE.
 22. NEW BULKHEAD SHELVING.
 23. RELOCATE EXISTING UTILITY SINK TO LOCATION SHOWN ON PLAN. PROVIDE SHELVING AROUND SINK AND WABBER CUPBS.
 24. OUTLINE OF NEW FOUNDATIONS FOR NEW PERGOLA AND NEW REAR POURED CONC. PAVED. EX FOUNDATIONS FOR EXISTING 1 STORY PORCH OF BUILDING TO BE VLT. BY STRUCTURAL ENGINEER TO CONFIRM BEARING CAPACITY FOR 2ND FLOOR ADDITION.
 25. NEW PRIVACY SCREEN. SEE ENLARGEMENTS FOR ADDITIONAL DETAILS.
 26. NEW 3" GUARDRAIL AT EXISTING COVERED FRONT PORCH.
 27. NEW MEDIA CABINET. SEE ENLARGEMENTS FOR ADDITIONAL DETAILS.
 28. SWAP STAIR TREAD AROUND EXISTING STAIR LANDING. NEW WOOD TO MATCH EXISTING TREAD WOOD SPECIES AND FINISH.
 29. NEW KITCHEN CONFIGURATION. SEE ENLARGEMENTS FOR ADDITIONAL DETAILS.
 30. NEW POWDER ROOM / BATHROOM. SEE ENLARGEMENTS FOR ADDITIONAL DETAILS.
 31. PAINT (BRUSH) EXTERIOR STUCCO. SEE EXTERIOR ELEVATIONS FOR PAINT LOCATION.
 32. NEW POLISHED CONCRETE REAR PAVD WITH 1" HD PERGOLA. NEW PERGOLA TO HAVE VENTED METAL PANELS BELOW NEW ASPHALT SHINGLE ABOVE. FT SUPPORT BEAMS TO BE DROPPED.
 33. PROVIDE YARD DRAIN AT BASE OF NEW POURED CONCRETE PAVD.
 34. REPAIR AND REFINISH ALL WOOD FLOORS AT 1ST AND SECOND FLOORS. NEW WOOD FLOORS TO MATCH EXISTING. TO BE INCLUDED AT IN SW. BEDROOM.
 35. NEW RETRACTABLE PRIVACY SCREEN AT COVERED FRONT PORCH. SEE SUBMITTED CEILING PLAN FOR LOCATIONS.
 36. NEW 3" (HEIGHT) BULKHEAD CABINET BETWEEN NEW CLOSURES.
 37. NEW WOOD GUARDRAIL WITH PAINTED W/ BALKETTES TO 2ND FLOOR HALL.
 38. NEW HANDS UP CARTRIDGES TO BE INSTALLED AT PRE-INDIC LOCATIONS.
 39. NEW FENCE ALONG PROPERTY LINE. INCLUDE 3' GATE TO REAR ALLEY.
 40. NEW BUILT UP PORTION OF EXISTING STRUCTURAL ENGINEER TO CONFIRM ROOF BE-BEARING CAPACITY AFTER SEE VSL.
 41. NEW EXPANDED GARAGE WITH NEWLY POURED CONCRETE SLAB AT GRADE. NEW ASPHALT SHINGLE ROOF W/ CUTTER AND DOWNSPOUT.
 42. NEW STEPS DOWN TO GRADE.
 43. NEW HDG ME AND GAS LINE FOR GRILL AT PLANTER BOX.

LEGEND:

- EXISTING WALL TO REMAIN
- NEW WALL
- DRAWING NOTE CALL OUT

WALL ASSEMBLY TYPE KEY:
NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
SR 3-BET A AND FOR WALL ASSEMBLY TYPES.

PACE Architecture+Design
1707 E. Wagonwheel Dr.
Phoenix, AZ 85024
www.pace-a+d.com
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Project:
Conchohocken Addition
306 W 10th Ave
Conchohocken, PA 17402

Owner:
David Spohn
306 W 10th Ave
Conchohocken, PA 17402

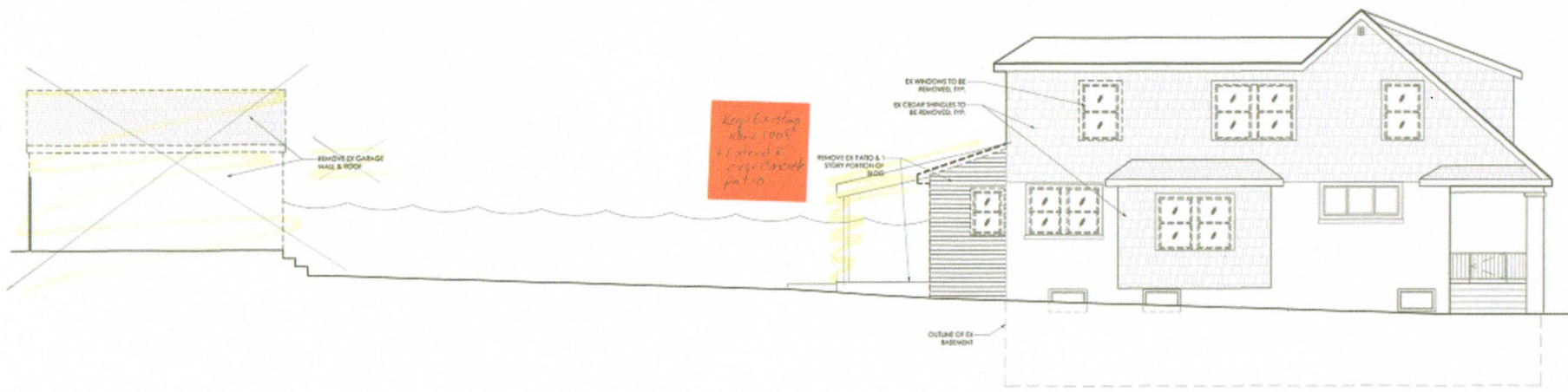
General Contractor:
Owens Construction
General Contractors
Ph: 484.778.6234

Structural Engineer:
Leake Engineering, LLC
371 N. Eagle Rd # 200
Homerstown, PA 17038
Ph: 717.648.4407

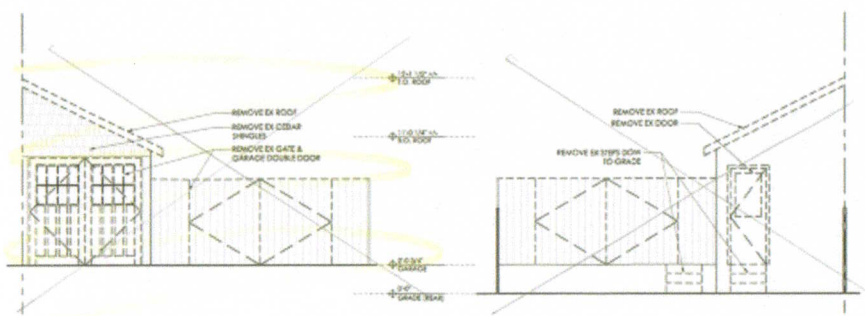


10 PLANS TO OWNER
07/27/20
EXTERIORS CONSOLE
08/10/20
DO SET TO OWNER
08/24/20
DO SET TO OWNER
08/24/20
INTERIOR ELEVATIONS
08/24/20
PROGRESS SET TO GC
09/07/20
BUILDING PERMIT CHECK SET
10/07/20
PROGRESS SET TO ENG
10/28/20
FULL SET FOR MD
11/23/20
PERMIT SET
02/18/21
ELECTRICAL REVISIONS
04/27/21
BUILDING PERMIT SET TO OWNER
05/14/21
Date Issued by: 10/14/21
Drawn by: ME
Title:

PROPOSED FLOOR PLANS

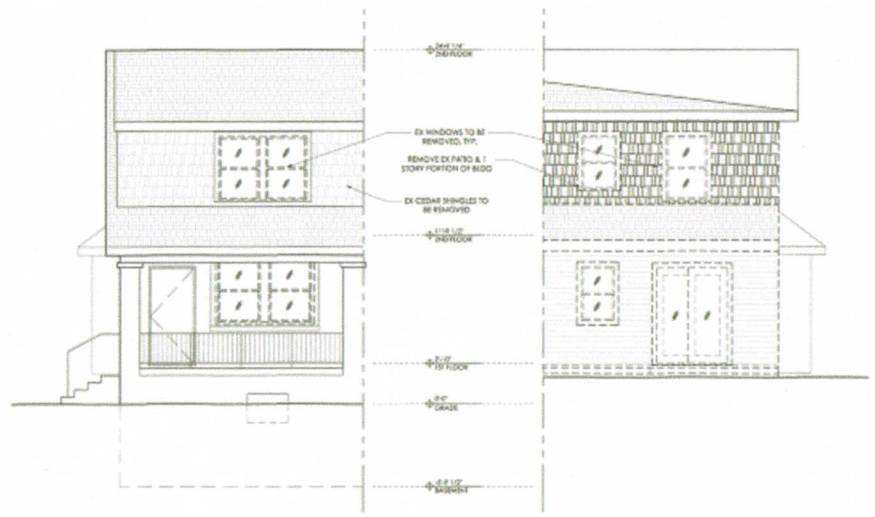


3 SIDE ELEVATION - EXISTING
ASB SCALE: 1/4"=1'-0"



4 FRONT ELEVATION - EXISTING GARAGE
ASB SCALE: 1/4"=1'-0"

5 REAR ELEVATION - EXISTING GARAGE
ASB SCALE: 1/4"=1'-0"



6 FRONT ELEVATION - EXISTING
ASB SCALE: 1/4"=1'-0"

7 REAR ELEVATION - EXISTING
ASB SCALE: 1/4"=1'-0"

p b + d
 PACE Architecture + Design
 125 E. Riverside
 Mechanicsville, VA 23102
 PH: 804.443.1771
 WWW.PACEARCHITECT.COM
 CREW@PACEARCHITECT.COM

Project:
 Construction Address:
 3014 10th Ave
 Conestoguen, PA 17428

Owner:
 David Stoffowski
 3014 10th Ave
 Conestoguen, PA 17428

General Contractor:
 Orusko Construction
 General Construction
 PH: 484.719.8034

Structural Engineer:
 Leiber Engineering, LLC
 10 N. Eagle Run Drive
 Harrisburg, PA 17105
 PH: 717.643.4433

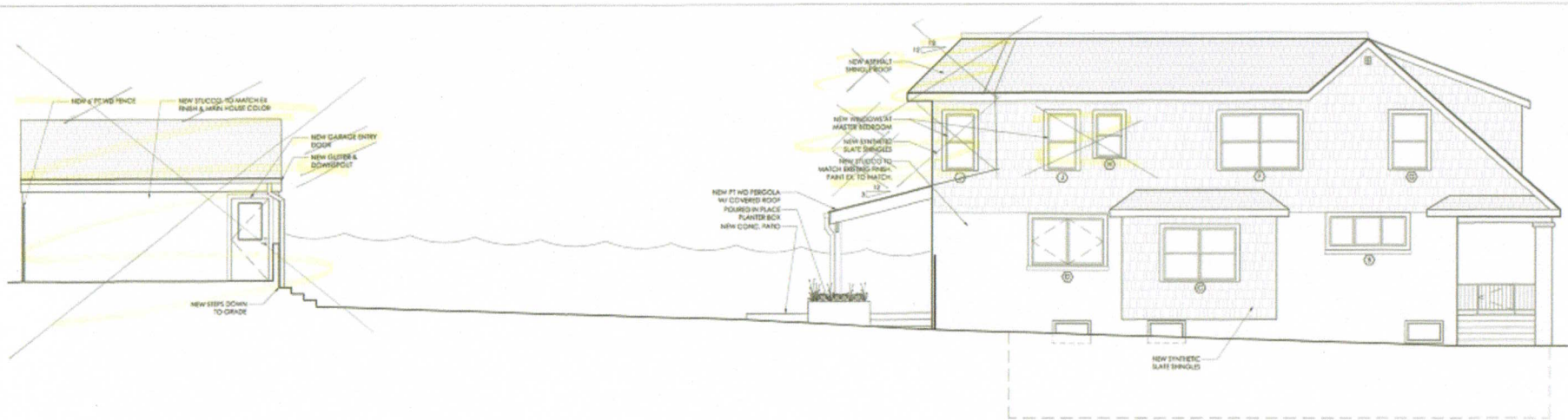


SD PLANS TO OWNER 07/27/20
 PREWORK OPTIONS 08/10/2020
 DD SET TO OWNER 08/24/2020
 SD SET TO OWNER 08/24/2020
 PREWORK ELEVATIONS 08/24/2020
 PROGRESS SET TO GC 10/27/20
 BUILDING PERMIT CHECKS 11/13/20
 PROGRESS SET TO OWNER 01/05/21
 FULL SET FOR MD 01/05/21
 PERMIT SET 02/10/21
 ELECTRICAL REVIEWS 04/07/21
 BUILDING PERMIT SET TO OWNER 05/14/21

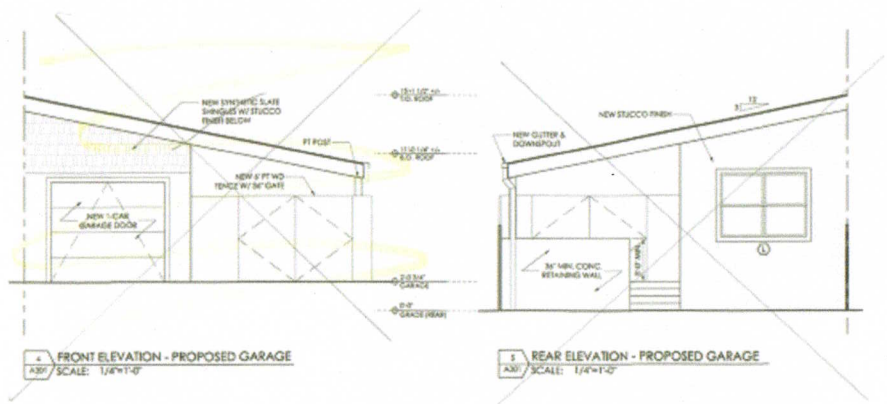
Revisions:
 Date 10/14/21
 Drawn by BE
 Title:

EXISTING EXTERIOR ELEVATION

A-300

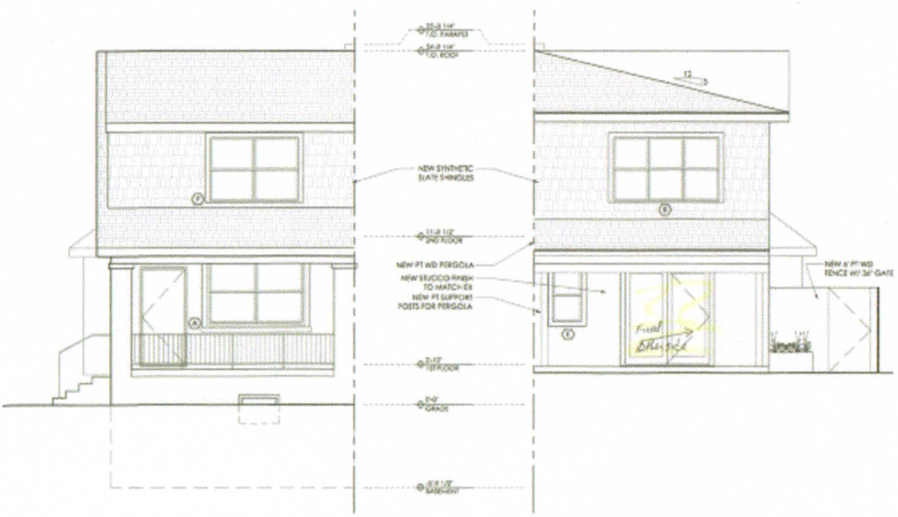


3 SIDE ELEVATION - PROPOSED
ASB / SCALE: 1/4"=1'-0"



4 FRONT ELEVATION - PROPOSED GARAGE
ASB / SCALE: 1/4"=1'-0"

5 REAR ELEVATION - PROPOSED GARAGE
ASB / SCALE: 1/4"=1'-0"



1 FRONT ELEVATION - PROPOSED
ASB / SCALE: 1/4"=1'-0"

2 REAR ELEVATION - PROPOSED
ASB / SCALE: 1/4"=1'-0"

**p
b+d**
FACE Architecture+Design
121 S. Morris St.
Middletown, PA 17057
PH: 484.743.3711
WWW.PBANDD.COM
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Project:
Coryhochocken Addition
324 W. 100th Ave.
Coryhochocken, PA 19428
Owner:
David Szytkowski
324 W. 100th Ave.
Coryhochocken, PA 19428
General Contractor:
Orsko Construction
General Contractors
PH: 484.719.0234
Structural Engineer:
Leake Engineering, LLC
11 W. Cook Rd. #111
Horseshoe, PA 17033
PH: 215.644.4427

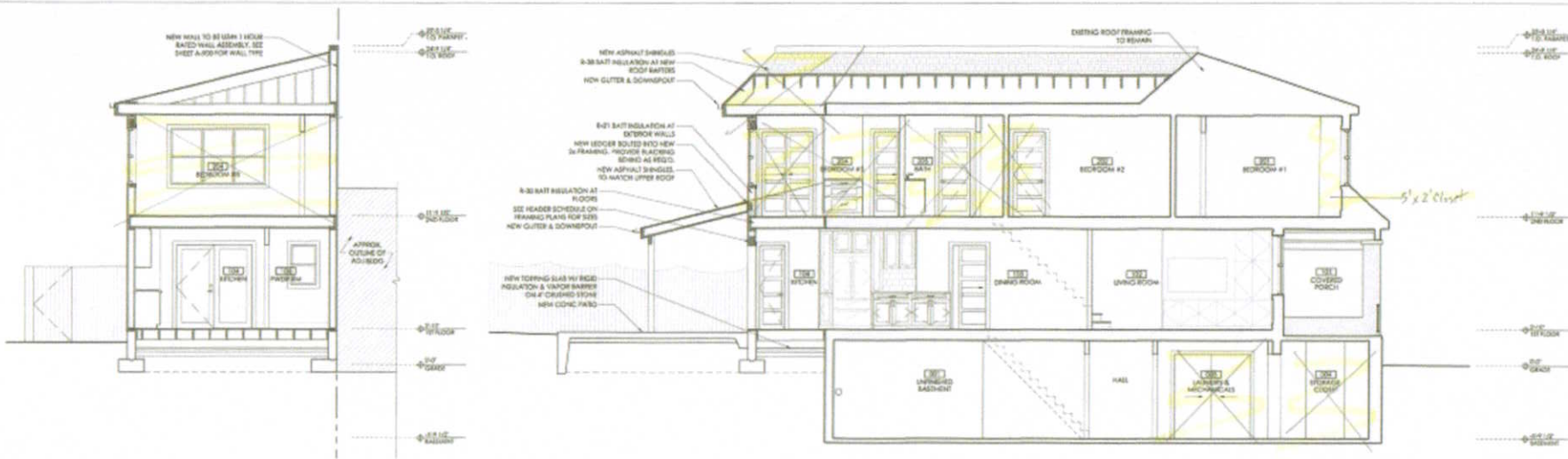


SO PLANS TO OWNER 07/27/23
ENTRINGS OPTIONS 08/10/23
DO SET TO OWNER 08/04/23
DO SET TO OWNER 09/04/23
INTERIOR ELEVATIONS 08/29/23
PROGRAM SET TO GIC 10/27/23
BUILDING PERMIT CHECK SET 09/04/23
PROGRAM SET TO ENG 12/21/23
PROGRAM SET TO ENG 01/05/24
CALL SET FOR BID 01/05/24
PERMIT SET 01/05/24
ELECTRICAL REVISIONS 02/27/24
ELECTRICAL REVISIONS 02/27/24
BUILDING PERMIT SET TO OWNER 12/16/23

Date: 12/16/23
Drawn by: [Signature]
Title:

**PROPOSED
EXTERIOR
ELEVATIONS**

A-301



3 PROPOSED BUILDING SECTION
SCALE: 1/4"=1'-0"

1 PROPOSED BUILDING SECTION
SCALE: 1/4"=1'-0"



PACE Architecture + Design
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Harrisburg, PA 17104
PH: 717.653.0700
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Project:
Conehocken Addition
324 N 10th Ave
Harrisburg, PA 17102

Owner:
David Szymanski
324 N 10th Ave
Harrisburg, PA 17102

General Contractor:
Chydex Construction
General Construction
PH: 484.715.0024

Structural Engineer:
Lewke Engineering, LLC
1000 N. 2nd Street, Suite 100
Harrisburg, PA 17102
PH: 717.642.4427

PERMIT SET



- 12- PLAN TO OWNER 07/27/10
 - 13- EXHIBIT OPTION 08/13/10
 - 14- DO NOT TO OWNER 08/24/10
 - 15- DO NOT TO OWNER 08/24/10
 - 16- INTERIOR ELECTRICAL 08/24/10
 - 17- PROGRESS SET TO DC 10/12/10
 - 18- BUILDING PERMIT CHECK SET 12/07/10
 - 19- PROGRESS SET TO ENCL 01/25/11
 - 20- FULL SET FOR ISS 01/25/11
 - 21- PERMIT SET 02/18/11
 - 22- ELECTRICAL REVISIONS 04/21/11
 - 23- BUILDING PERMIT SET TO OWNER 05/19/11
- Date: 10/14/11
Drawn by: BE

PROPOSED BUILDING SECTION

A-310



PACE Architecture Design
 1011 N. W. 11th St.
 Ft. Lauderdale, FL 33304
 (954) 561-1111
 www.pacearch.com

Project:
 Condominium Addition
 800 W. 15th Ave.
 Fort Lauderdale, FL 33311

Client:
 David J. Kopyov
 800 W. 15th Ave.
 Fort Lauderdale, FL 33311

General Contractor:
 Green & Crumpton
 1000 N. W. 11th St.
 Ft. Lauderdale, FL 33304

Structural Engineer:
 LAMCO Engineering, LLC
 1000 N. W. 11th St.
 Ft. Lauderdale, FL 33304
 (954) 561-1111

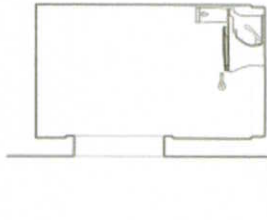
PERMIT SET



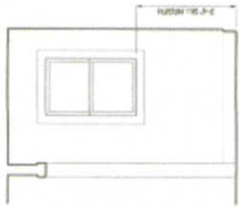
SEE PLANS TO OWNER
 CONTRACTOR
 INTERFERES WITH
 DO NOT TO CHANGE
 DO NOT TO CHANGE
 INTERIOR ELEVATIONS
 PROPOSED SET TO GO
 PROPOSED SET TO GO
 PROGRAMS SET TO GO
 BUILDING PERMIT CHECK SET
 ELECTRICAL PERMIT SET TO CHANGE
 MECHANICAL PERMIT SET TO CHANGE
 PLUMBING PERMIT SET TO CHANGE
 FIRE PERMIT SET TO CHANGE
 BUILDING PERMIT SET TO CHANGE
 MECHANICAL PERMIT SET TO CHANGE
 PLUMBING PERMIT SET TO CHANGE
 FIRE PERMIT SET TO CHANGE

ENLARGED BATH PLANS & INT. ELEVATIONS

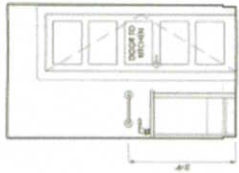
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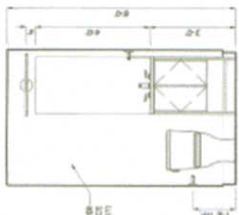
1 INTERIOR ELEVATION - POWDR RM 105
 1/4" = 1'-0" SCALE



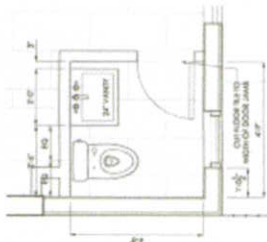
2 INTERIOR ELEVATION - POWDR RM 105
 1/4" = 1'-0" SCALE



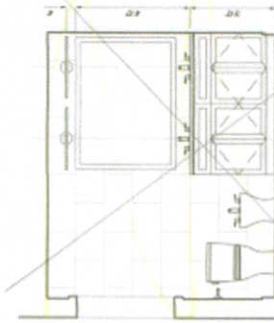
3 INTERIOR ELEVATION - POWDR RM 105
 1/4" = 1'-0" SCALE



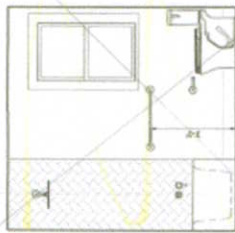
4 INTERIOR ELEVATION - POWDR RM 105
 1/4" = 1'-0" SCALE



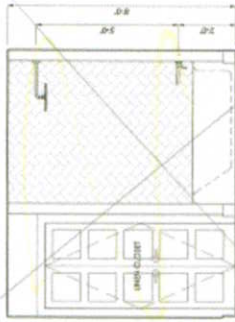
1 ENLARGED PLAN - POWDER ROOM 105
 1/4" = 1'-0" SCALE



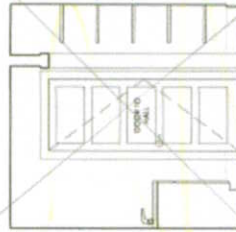
1 INTERIOR ELEVATION - BATH 205
 1/4" = 1'-0" SCALE



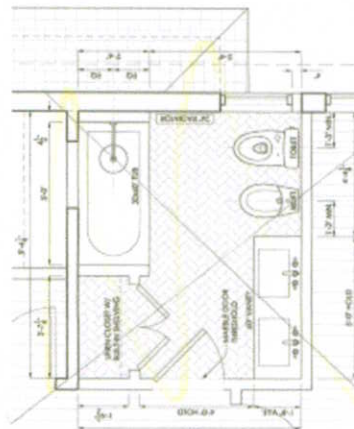
2 INTERIOR ELEVATION - BATH 205
 1/4" = 1'-0" SCALE



3 INTERIOR ELEVATION - BATH 205
 1/4" = 1'-0" SCALE



4 INTERIOR ELEVATION - BATH 205
 1/4" = 1'-0" SCALE



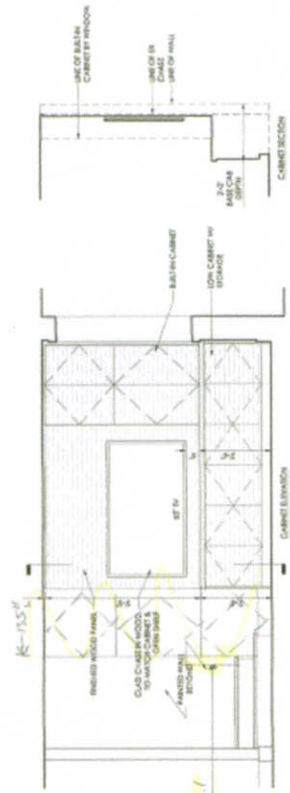
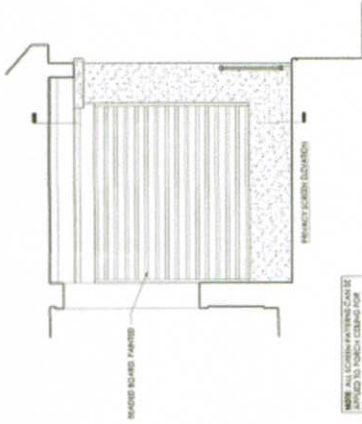
1 ENLARGED PLAN - BATH 205
 1/4" = 1'-0" SCALE

PERMIT SET



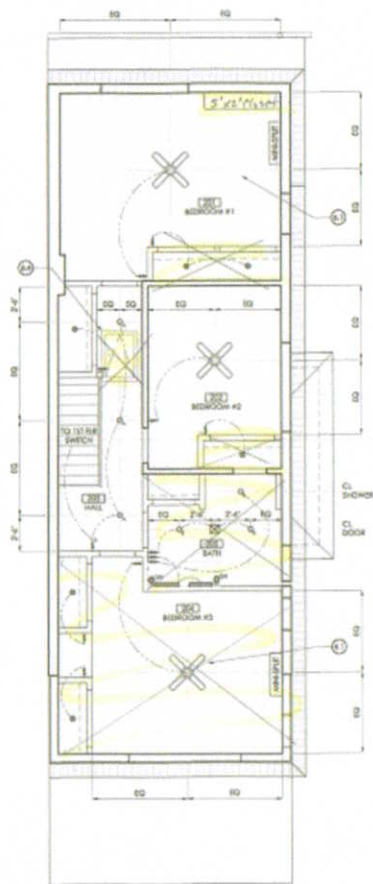
BY PLANS TO CORRECT
 ANY DISCREPANCIES
 BETWEEN THE
 ORIGINAL PERMIT
 AND THE
 AS-BUILT
 CONDITIONS
 THE CONTRACTOR
 SHALL BE RESPONSIBLE
 FOR OBTAINING
 THE NECESSARY
 PERMITS AND
 APPROVALS FROM
 THE APPROPRIATE
 AGENCIES AND
 AUTHORITIES
 BEFORE ANY
 CONSTRUCTION
 BEGINS.
 ALL WORK SHALL
 BE DONE IN
 ACCORDANCE
 WITH THE
 CITY OF PHILADELPHIA
 ORDINANCES AND
 REGULATIONS.
 DATE: 11/14/18
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 TITLE: [Signature]

A-402

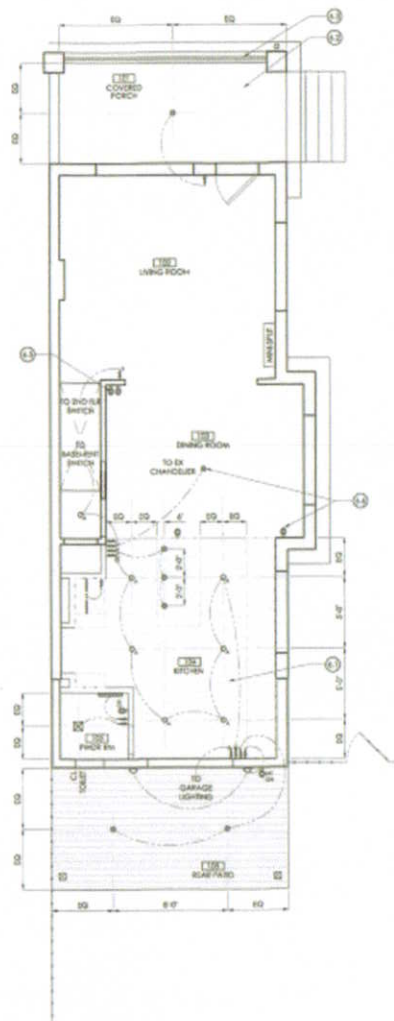


1. ENLARGED ELEVATION - PRIVACY SCREEN OPT 1
 SCALE: 1/2" = 1'-0"

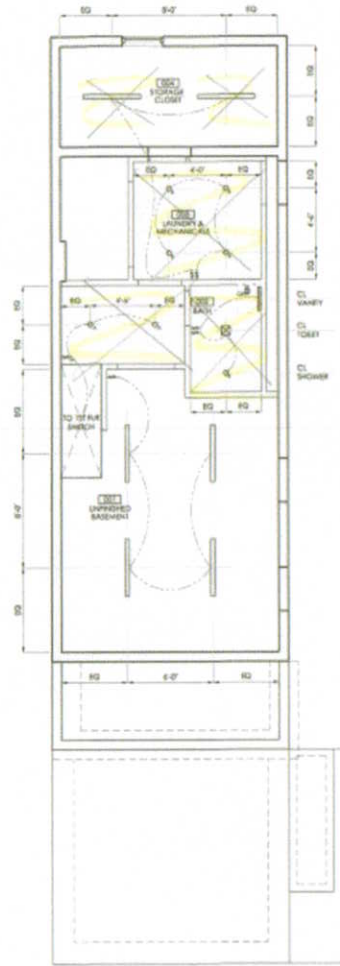
3. ENLARGED ELEVATION - MEDIA CABINET OPT 3
 SCALE: 1/2" = 1'-0"



2 PROPOSED CEILING PLAN - SECOND FLOOR
ASB SCALE: 1/4"=1'-0"



1 PROPOSED CEILING PLAN - FIRST FLOOR
ASB SCALE: 1/4"=1'-0"



3 PROPOSED CEILING PLAN - BASEMENT
ASB SCALE: 1/4"=1'-0"

- CEILING PLAN GENERAL NOTES:**
- SEE LIGHTING ELECTRICAL, MECH. AND AV DRAWINGS FOR TYPES & COUNT REFLECTED CEILING PLAN FOR LOCATION ONLY.
 - ALL HEIGHTS OF CEILING ARE 14'-6" HIGH FINISHED FLOOR.
 - SMOKE DETECTORS BEING REMOVED MUST BE REINSTALLED PER CODE STANDARD. ALL NEW SMOKE DETECTORS TO BE INSTALLED ON NEWLY CONSTRUCTED CEILING.
 - NEW ELECTRICAL OUTLETS TO BE INSTALLED AND LOCATED PER LOCAL ELECTRICAL CODE REQUIREMENTS.
- CEILING PLAN NOTES:**
- 1 NEW DETAIL CEILING TO BE INSTALLED AT 1ST FLOOR REAR AND ALL OF 2ND FLOOR.
 - 2 NEW HD CEILING AT EX FRONT PORCH PROVIDE NEW 8" Ø INSULATION.
 - 3 NEW RETRACTABLE PRIVACY SCREEN AT EX COVERED FRONT PORCH.
 - 4 PROVIDE NEW HINGED ATTIC ACCESS PANEL FROM 2ND FLOOR HALLWAY.
 - 5 RELOCATE LIVING DOUBLE OUTLET FOR NEW ISAR CONFIGURATION.
 - 6 RELOCATE LIVING DINING ROOM LIGHT SWITCH AND (2) ELECTRIC BATHROOM OUTLETS. LIVING BASEMENT LIGHT SWITCH TO BE RELOCATED.

- REFLECTED:**
- [Pattern] EXISTING CEILING
 - [Pattern] NEW 8" HD CEILING
 - [Pattern] NEW EXTERIOR HD CEILING
 - [Pattern] METAL VENTED SOFFIT PANELS

- REFLECTED:**
- [Symbol] # INTERIOR LED RECESSED CAN LIGHT - WHITE TRIM
 - [Symbol] # INTERIOR LED RECESSED CAN LIGHT - WHITE TRIM DAMP LOCATION
 - [Symbol] CEILING JUNCTION BOX
 - [Symbol] WALL SWITCH INTERIOR
 - [Symbol] WALL SWITCH EXTERIOR
 - [Symbol] VANITY LIGHT
 - [Symbol] DRY-LOFT FAN
 - [Symbol] UNDER CABINET LIGHT STRIP
 - [Symbol] SURFACE MOUNTED LED LIGHT
 - [Symbol] LOCATION HAMMER
 - [Symbol] LIGHT SWITCH
 - [Symbol] LIGHT SWITCH - DIMMER
 - [Symbol] LIGHT SWITCH - 3-WAY
 - [Symbol] SMOKE DETECTOR
 - [Symbol] SMOKE / CARBON MONOXIDE DETECTOR COMBINATOR
 - [Symbol] OUTLET
 - [Symbol] OUTLET EXTERIOR WATERPROOF
 - [Symbol] OUTLET GR
 - [Symbol] OUTLET GR LOCATED BELOW COUNTERS
 - [Symbol] OUTLET W/ USB
 - [Symbol] NEW 8" HD CEILING
 - [Symbol] CEILING FAN NO LIGHT

b+b+d
FACE Architecture+Design
301 E. Highways 40
P.O. Box 1208
Carnahan, PA 14828
www.b+b+d.com
412.221.2221 ext. 202 and 203

Project
Carnahan/0608 - PA 14828
301 W. 12th Ave.
Carnahan, PA 14828

Owner
David Szykowiak
301 W. 12th Ave.
Carnahan, PA 14828

General Contractor
Orulka Construction
General Contractors
PO Box 113209
Harrisburg, PA 17113-2094

Structural Engineer
Lesko Engineering, LLC
100 N. State St. #100
Harrisburg, PA 17103
PH: 717.561.8337



NO PLANS TO OWNER 08/15/2023
EXTENDING C/P/2023 08/15/2023
DD SET TO OWNER 08/24/2023
DD SET TO OWNER 08/24/2023
INTERIOR SIGNATURE 09/09/23
PROGRESS SET TO LIC. 09/09/23
BUILDING PERMIT CHECK SET 09/09/23
PROGRESS SET TO ENG 09/09/23
Pull SET FOR MD 09/09/23
PERMIT SET 09/14/23
ELECTRICAL SIGNATURE 09/27/23
BUILDING PERMIT SET TO OWNER 10/18/23

As noted by 10/18/23
Drawn by 09/14/23
10/18/23

PROPOSED REFLECTED CEILING PLANS

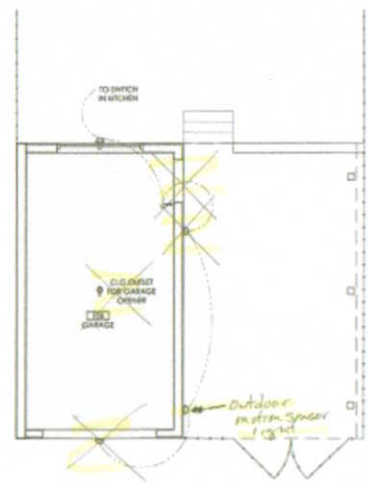
A-600

- CEILING PLAN GENERAL NOTES:**
- SEE LIGHTING/ELECTRICAL MEP AND AV DRAWINGS FOR TYPES & COUNT. REFLECTED CEILING PLANS FOR LOCATION ONLY.
 - ALL HEIGHTS OF CEILING ARE TAKEN FROM FINISHED FLOOR.
 - SMOKE DETECTORS BEING REVOCED MUST BE REINSTALLED PER CODE STANDARD. ALL NEW SMOKE DETECTORS TO BE INSTALLED ON NEWLY CONSTRUCTED CEILING.
 - NEW ELECTRICAL OUTLETS TO BE INSTALLED AND LOCATED PER LOCAL ELECTRICAL CODE REQUIREMENTS.

- CEILING PLAN NOTES:**
- NEW DRYWALL CEILING TO BE INSTALLED AT 1ST FLOOR EROHM AND ALL OF 2ND FLOOR.
 - NEW W/O CEILING AT EX FRONT PORCH. PROVIDE NEW R30 INSULATION.
 - NEW RETRACTABLE PRIVACY SCREEN AT BK COVERED FRONT PORCH.
 - PROVIDE NEW HINGED ATTIC ACCESS PANEL FROM 2ND FLOOR HALLWAY.
 - RELOCATE EXISTING DOUBLE OUTLET FOR NEW SHARV CONFIGURATION.
 - RELOCATE EXISTING DINING ROOM LIGHT SWITCH AND (2) ELECTRIC BASEBOARD OUTLETS. SMELING BASHINI LIGHT SWITCH TO BE RELOCATED.

- REF LEGEND:**
- [Symbol] DRIBING CEILING
 - [Symbol] NEW GAS CEILING
 - [Symbol] NEW EXTERIOR W/O CEILING
 - [Symbol] METAL VENTED SOFFIT PANELS

- REF LEGEND:**
- [Symbol] INTERIOR LED RECESSED CAN LIGHT - WHITE TRIM
 - [Symbol] INTERIOR LED RECESSED CAN LIGHT - WHITE TRIM DAMP LOCATION
 - [Symbol] CEILING JUNCTION BOX
 - [Symbol] WALL SCONCE INTERIOR
 - [Symbol] WALL SCONCE EXTERIOR
 - [Symbol] VENTILY LIGHT
 - [Symbol] EXHAUST FAN
 - [Symbol] UNDER CABINET LIGHT STRIP
 - [Symbol] SURFACE MOUNTED LED LIGHT
 - [Symbol] LOCATION MARKER
 - [Symbol] LIGHT SWITCH
 - [Symbol] LIGHT SWITCH - DIMMER
 - [Symbol] LIGHT SWITCH - 3-WAY
 - [Symbol] SMOKE DETECTOR
 - [Symbol] SMOKE / CARBON MONOXIDE DETECTOR COMBINATION
 - [Symbol] OUTLET
 - [Symbol] OUTLET EXTERIOR WATERPROOF
 - [Symbol] OUTLET GR
 - [Symbol] OUTLET GR LOCATED BELOW COUNTERTOP
 - [Symbol] OUTLET W/ USB
 - [Symbol] WIRE SPLIT W/AC SYSTEM
 - [Symbol] CEILING FAN W/ LIGHT



PROPOSED CEILING PLAN - GARAGE
 #01 / SCALE: 1/4"=1'-0"

o b + d
 PACE Architecture/Design
 1011 14th Street
 Philadelphia, PA 19107
 Tel: 215-343-0111
 www.ob+d.com
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 Project
 Conshohocken Addition
 826 W. 12th Ave
 Conshohocken, PA 19380
 Owner
 David Scott Powell
 200 W. 12th Ave
 Conshohocken, PA 19380
 General Contractor
 O'Quinn Construction
 General Construction
 PO Box 174622
 Philadelphia, PA 19114
 Structural Engineer
 Leake Engineering, LLC
 101 W. 12th Ave #110
 Conshohocken, PA 19380
 Tel: 215-447-4477



- PERMIT SET**
- SO PLANS TO OWNER 07/27/11
 - EXTERIOR OPTION 08/10/2011
 - DO SET TO OWNER 08/24/2011
 - DO SET TO OWNER 08/24/2011
 - DO SET TO OWNER 08/24/2011
 - INTERIOR REVISIONS 08/24/2011
 - PROGRESS SET TO O.C. 10/01/11
 - BUILDING PERMIT CHECK SET 10/01/11
 - PROGRESS SET TO ENG. 01/08/11
 - PULL SET FOR PD 01/08/11
 - PERMIT SET 02/19/11
 - ELECTRICAL REVISIONS 04/01/11
 - BUILDING PERMIT SET TO OWNER 10/16/11

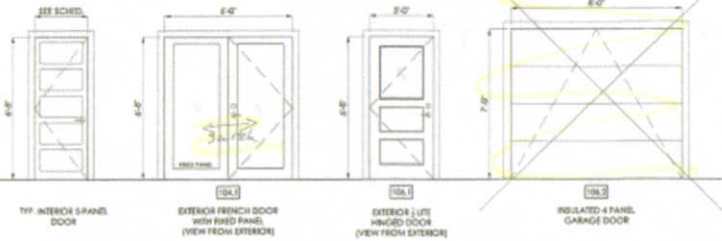
Date 10/16/11
 Drawn by BE
 Title

PROPOSED REFLECTED CEILING PLANS

A-601

DOOR ELEVATIONS

ALL DIMENSIONS, SPECS. & HARDWARE MUST BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING
 SEE PLANS FOR DOOR HANDING

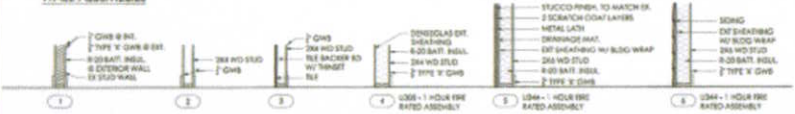


WINDOW ELEVATIONS

ALL DIMENSIONS, SPECS. & HARDWARE MUST BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING
 WINDOW SPECS - PELLA IMPERIVA, ADVANCED LGW-6 SL 1/4 FACTOR - 0.31, SHGC - 0.38



WALL ASSEMBLIES



ALL DIMENSIONS, SPECS. & HARDWARE MUST BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING

DOOR TAG	TYPE	FIN	HANDING	SCREEN PANEL	DOOR	FINISH	GLASS	HARDWARE FUNCTION	NOTES
001.1	INTERIOR SL. HINGED	4P/MT	-	5 PANEL	SLD	PAINTED	WG TRAE	SWAMP	
001.1	INTERIOR HINGED	3P/MT	LEFT	5 PANEL	SLD	PAINTED	WG TRAE	PRVACT	
001.1	INTERIOR HINGED	3P/MT	LEFT	5 PANEL	SLD	PAINTED	WG TRAE	PASADGE	
001.2	INTERIOR SLIDER	2P/MT	-	5 PANEL	SLD	PAINTED	WG TRAE	BUOGE PULL	
001.3	INTERIOR HINGED	3P/MT	RIGHT	5 PANEL	SLD	PAINTED	WG TRAE	PASADGE	
101.1	INTERIOR HINGED	3P/MT	-	5 PANEL	SLD	PAINTED	WG TRAE	BUOGE PULL	
101.2	INTERIOR HINGED	2P/MT	LEFT	5 PANEL	SLD	PAINTED	WG TRAE	PASADGE	
101.3	EXTERIOR FRENCH DR	2P/MT	RIGHT	GLASS	SLD	PAINTED	WG TRAE	PRVACT W/ DRSTRCT	
101.1	INTERIOR HINGED	3P/MT	LEFT	5 PANEL	SLD	PAINTED	WG TRAE	PRVACT	
101.1	EXTERIOR HINGED	3P/MT	LEFT	5 PANEL	SLD	PAINTED	WG TRAE	PRVACT	
101.2	GARAGE DOOR	3P/MT	-	FLAT PANEL	SLD	PAINTED	WG TRAE	PRVACT	
201.1	INTERIOR HINGED	3P/MT	LEFT	5 PANEL	SLD	PAINTED	WG TRAE	PRVACT	
201.2	INTERIOR SLIDER	4P/MT	-	5 PANEL	SLD	PAINTED	WG TRAE	BUOGE PULL	
201.3	INTERIOR SLIDER	4P/MT	-	5 PANEL	SLD	PAINTED	WG TRAE	BUOGE PULL	
301.1	INTERIOR HINGED	3P/MT	RIGHT	5 PANEL	SLD	PAINTED	WG TRAE	PRVACT	
301.2	INTERIOR SLIDER	3P/MT	-	5 PANEL	SLD	PAINTED	WG TRAE	BUOGE PULL	
301.1	INTERIOR HINGED	3P/MT	RIGHT	5 PANEL	SLD	PAINTED	WG TRAE	PRVACT	
301.2	INTERIOR SLIDER	3P/MT	-	5 PANEL	SLD	PAINTED	WG TRAE	BUOGE PULL	
301.3	INTERIOR SLIDER	3P/MT	-	5 PANEL	SLD	PAINTED	WG TRAE	BUOGE PULL	
301.1	INTERIOR HINGED	3P/MT	LEFT	5 PANEL	SLD	PAINTED	WG TRAE	PRVACT	
301.2	INTERIOR HINGED	3P/MT	LEFT	5 PANEL	SLD	PAINTED	WG TRAE	PRVACT	

ALL DIMENSIONS, QUANTITIES & AREAS MUST BE VERIFIED IN FIELD BY G.C. PRIOR TO ORDERING

FIN	AREA	MANUFACTURER	STYLE NAME	COLOR NAME / NUMBER	PATTERN	NOTES
WB-1	74.5 SF					INSTALLED IN FIN 25K TO MATCH EX SPECS AND FINISH AS IS 2ND FLOOR W/ FLOOR

FIN	AREA	MANUFACTURER	COLOR	FINISH	SIZE	RETAIL CATEGORY	BY MATERIAL	GROUP TYPE, SET & COLOR	ORDER CONTACT SUPPLIER
E-1	22.5 SF								KITCHEN FLOOR FIN. 1/4" x 1/4"
E-2	21 SF								KITCHEN BACKSPLASH FIN. 1/4" x 1/4"
E-3	28 SF								BATH FLOOR FIN. 1/4" x 1/4"
E-4	82 SF								BATH SHOWER WALL, S.E. 1/4" x 1/4"
E-5	78 SF								BATH WALL, S.E. 1/4" x 1/4"

FIN	MATERIAL	MANUFACTURER	SIZE	COLOR	NOTES
B-1	WOOD BARK		4"		TO MATCH EXISNG W/ BARKSASH AT 2ND FLOOR

FIN	AREA	MANUFACTURER	EXTRACTION	COLOR	NOTES
EX-1	47.3 SF				LOCATED AT EX. FRONT PORCH

GC TO VERIFY MEASUREMENTS WITH LOCAL PLUMBING CODES

FIN #	ITEM	MANUFACTURER	MODEL	COLOR / FINISH	NOTE
BATH ROOMS	TOILET				
	VANITY LIGHTING				
	TO				
	SHOWER HEAD				
	SHOWER CONTROLS				
	VANITY				
	FAN/CEILING				
	MIRROR				
	THERMOPHASE DOOR	CHATEL	DOOR HALL DOORWAY - 6'0" x 8'0"	CHATEL	SEE PLANS FOR DETAILS
	TUBS SPA	CHATEL	CLUBS SPA, 6'0" x 8'0"	CHATEL	SEE PLANS FOR DET.
KITCHEN	ISLAND				
	REF				
	OVEN				
	DISHWASHER				
	COOK TOP				
	BRKFAST CABINETS				
	BAR				
	STOVE				
	EXHAUST FAN	PRIMO	PRIMO		
	W/ C/W				

b b+d
PACE Architecture+Design
 10713 Highway 3
 Mechanicsville, VA 23103
 Tel: 804.744.9400
 Fax: 804.744.9401
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Project:
 Construction Addition
 304 W 10th Ave
 Charlottesville, VA 22902

Owner:
 David Scharf
 202 W 10th Ave
 Charlottesville, VA 22902

General Contractor:
Chaska Construction
 General Construction
 7647 N. 30th St
 Mechanicsville, VA 23103

Architect/Engineer:
Leica Engineering, LLC
 101 W. 8th St #300
 Charlottesville, VA 22902
 Tel: 813.445.4457

PERMIT SET

50 PLANS TO OWNER
 07/27/20
 EXTERIOR OPTIONS
 08/10/2020
 00 SET TO CHAIRMAN
 08/24/2020
 00 SET TO CHAIRMAN
 08/24/2020
 INTERIOR ELEVATIONS
 08/20/20
 PROGRAM SET TO GC
 10/02/20
 BUILDING PERMIT CHECK SET
 10/01/20
 PROGRAM SET TO PHD
 01/05/21
 FULL SET FOR MD
 01/20/21
 PERMIT SET
 02/01/21
 ELECTRICAL REVISIONS
 06/21/21
 BUILDING PERMIT SET TO CHAIRMAN
 10/16/21

Date: 10/16/21
 Drawn by: BE

SCHEDULES

A-900

Greater Montgomery Settlement Services, LLC

910 Harvest Drive, Suite 100, Blue Bell, PA 19422

Phone: 215-654-5444 Fax: 866-207-4310

June 25, 2019

David Szatkowski
306 W. 10th Avenue
Conshohocken, PA 19428

Re: File Number 321-018366
Premises: **306 W. 10th Avenue, Conshohocken, PA 19428**
Conshohocken Borough Montgomery County

Dear David Szatkowski,

Enclosed is your original recorded deed.

If you have any questions, please feel free to contact me at the number above.

Thank you,



Kristen George

Prepared By: **Greater Montgomery Settlement Services,
LLC
ATTN: Kristen George
910 Harvest Drive, Suite 100
Blue Bell, PA19422
Phone: 215-654-5444**

Return To: **Greater Montgomery Settlement Services,
LLC
ATTN: Kristen George
910 Harvest Drive, Suite 100
Blue Bell, PA19422
Phone: 215-654-5444**

**05-00-10580-00-8
306 W. 10th Avenue, Conshohocken, PA
19428
File No. 321-018366**

Fee Simple Deed

This Deed, made on **June 27, 2019**, between,

Joseph N. Caucci and Susan Caucci

hereinafter called the Grantors of the one part, and

David Szatkowski

hereinafter called the Grantee of the other part,

Witnesseth, that in consideration of **Three Hundred Thirty Nine Thousand and 00/100 Dollars, (\$339,000.00)** in hand paid, the receipt whereof is hereby acknowledged, the said Grantors do hereby grant and convey unto the said Grantee, his/her/their heirs and assigns as sole owner.

ALL THAT CERTAIN lot or piece of land with the messuage or tenement thereon erected, SITUATE in the Borough of Conshohocken, County of Montgomery, Commonwealth of Pennsylvania, bounded and described as follows, to wit:

BEGINNING at a point on the Northeasterly side of Tenth Avenue at the distance of One Hundred feet Northwesterly from the North corner of said Tenth Avenue and Wood Street; thence extending Northwesterly along said side of said Tenth Avenue, Twenty-five feet, more or less to a point; thence extending Northeastwardly of that width in length or depth between parallel lines at right angles to said Tenth Avenue, One Hundred Forty feet to the Southwest side of a certain Twenty feet wide alley; the Southeast line passing through the middle of a partition wall separating the house on this from the house on the adjoining lot.

Being the same premises which Joseph J. Tyrrell, Jr. and Stephanie M. Tyrrell, his wife by Deed dated 07/06/1979 and recorded 07/18/1979 in Montgomery County in Deed Book 4432 Page 185 conveyed unto Joseph N. Caucci and Susan Caucci, his wife, in fee.

DEED

File No. 321-018366

Grantor: Joseph N. Caucci and Susan Caucci

Grantee: David Szatkowski

I certify the address of the Grantee to be, and mail tax bill to:

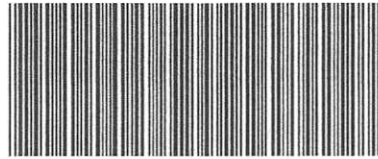
306 W. 10th Ave Conshohocken, PA 19380

Certified by: LC

Premises: 306 W. 10th Avenue, Conshohocken, Conshohocken Borough, Montgomery County,
State/Commonwealth of Pennsylvania



DEED BK 6145 PG 00088 to 00091
 INSTRUMENT # : 2019046760
 RECORDED DATE: 07/17/2019 01:49:25 PM



5656371-0020S

RECORDER OF DEEDS
 MONTGOMERY COUNTY
Jeane Sorg

One Montgomery Plaza
 Swede and Airy Streets ~ Suite 303
 P.O. Box 311 ~ Norristown, PA 19404
 Office: (610) 278-3289 ~ Fax: (610) 278-3869

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 4

Document Type: Deed
Document Date: 06/27/2019
Reference Info:

Transaction #: 5875499 - 2 Doc(s)
Document Page Count: 3
Operator Id: dawhitner

RETURN TO: (Simplifile)
 G M S S - Rq
 980 Harvest Drive Suite 200
 Blue Bell, PA 19422
 (215) 641-8000

PAID BY:
 G M S S - RQ

*** PROPERTY DATA:**

Parcel ID #: 05-00-10580-00-8
 Address: 306 W TENTH AVE

Municipality: CONSHOHOCKEN PA
 19428
 Conshohocken Borough
 (100%)
 School District: Colonial

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT: \$339,000.00

DEED BK 6145 PG 00088 to 00091
 Recorded Date: 07/17/2019 01:49:25 PM

FEES / TAXES:

Recording Fee:Deed	\$86.75
State RTT	\$3,390.00
Conshohocken Borough RTT	\$1,695.00
Colonial School District RTT	\$1,695.00
Total:	\$6,866.75

I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.



Jeane Sorg
 Recorder of Deeds

Rev1 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION



BOROUGH OF CONSHOHOCKEN

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

ZONING NOTICE NOVEMBER 20, 2023, ZONING HEARING BOARD MEETING

ZONING HEARING Z-2023-21

NOTICE IS HEREBY GIVEN that the Conshohocken Zoning Hearing Board will conduct a public hearing on November 20th, 2023, at 6:15 p.m. prevailing time. The meeting will be held at Borough Hall, located at 400 Fayette Street, Conshohocken, PA 19428.

At this time, the Conshohocken Zoning Hearing Board will hear testimony and accept evidence on the following petition:

PETITIONER: Craft Custom Homes, LLC

PREMISES INVOLVED: 105 East 10th Avenue
Conshohocken, PA 19428
BR-1 – Borough Residential District 1

OWNER OF RECORD: Craft Custom Homes, LLC
1549 Dowlin Forge Road
Downingtown, PA 19335

The petitioner is seeking a Special Exception pursuant to Section §27-703.E.(6)(a) and a Variance from Section §27-703.D of the Conshohocken Borough Zoning Ordinance for proposed interior building alterations and exterior building additions of an existing nonconforming single-family detached dwelling. The proposed building alterations and additions will increase the existing total building gross floor area from 1,153 SF to 3,468 SF (or 201% physical expansion) whereas only a one-time 25% physical expansion of a nonconforming building is permitted.

Interested parties are invited to participate in the hearing. Anyone requiring special accommodations to attend should contact the Conshohocken Borough Administration Office at 610-828-1092 or zoning@conshohockenpa.gov as soon as possible for arrangements.

If you have questions regarding the above prior to the meeting, please contact the Borough at zoning@conshohockenpa.gov.

Thank you,
Zoning Hearing Board



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

Zoning Administration

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: November 14, 2023

To: Stephanie Cecco, Brittany Rogers

From: Allison A. Lee, PE

Re: 105 East Tenth Avenue - Zoning Determination

History of the Site:

105 East Tenth Avenue is comprised of an existing non-conforming single-family detached residential dwelling that was constructed in 1950. The existing dwelling is a one and a half (1½)-story approximately 1,153 GSF bungalow masonry building with existing off-street parking and street level garage/basement located on the ground floor and in the front yard of the property. Access into the dwelling is along the western façade of the building. There is also an existing concrete porch located to the rear of the dwelling.

The 2,712 SF property is located within the BR-1 - Borough Residential District 1 zoning district. The site is fronted by East Tenth Avenue to the north and residential properties also located within the BR-1 zoning district in all other directions.

Current Request:

Pursuant to a Building Permit Application (#23-00708), the Applicant is proposing to demolish the existing rear concrete porch and side concrete steps to convert the existing one and a half (1½)-story approximately 1,153 gross floor (GSF) building to a new three and a half (3½)-story approximately 3,468 GSF residential dwelling; as well as, interior and exterior building renovations and construction of a new 180 SF (or 15' wide by 13' long) wood deck to the rear of the new building addition. Other site improvements proposed include reconstruction of the existing asphalt driveway and off-street parking area located to the front of the existing dwelling; new retaining walls flanking on both sides of the front wall of the existing dwelling; and new concrete walk to the side and rear of the new building addition.

The Applicant is seeking a Zoning Ordinance interpretation as well as a Special Exception pursuant to Section §27-703.E.(6)(a) and a Variance from Section §27-703.D of the Conshohocken Borough Zoning Ordinance for the proposed interior building alterations and exterior building additions of an existing nonconforming single-family detached dwelling. The proposed building alterations and additions will increase the existing total building gross floor area from 1,153 SF to 3,468 SF (or 201% physical expansion) whereas only a one-time 25% physical expansion of a nonconforming building is permitted.

Zoning Determination:

The above referenced property is located within the BR-1 – Borough Residential District 1 zoning district, and is subject to provisions of Part 7 of the Conshohocken Borough Zoning Ordinance for nonconforming structures, uses, and lots. The existing and proposed residential single-family detached dwelling use of the building is a permitted by right use in compliance with Section §27-1002.1 of the BR-1 zoning district.

Per Section §27-702.B of the Borough Zoning Ordinance, a nonconforming building or structure is any existing lawful building or structure that does not conform to the height, location, size, bulk, or other dimensional requirements of the district in which it is located. The existing building is classified as an existing nonconforming building because the building does not conform to the following dimensional requirements of the BR-1 zoning district:

- Front yard setback is approximately 12.7 feet from the existing right-of-way line of West Tenth Avenue which does not conform to the required 25 feet front yard setback of the BR-1 zoning district, nor the established 17-foot building line of the majority of the buildings on the same side of the block per Section §27-1005.C.
- Side yard setback is 2.68 feet from the western side lot line (adjacent to 101 E. 5th Avenue), which does not conform to the required 5 feet side yard setback of the BR-1 zoning district per Section §27-1005.E.

Per Section §27-702.C of the Borough Zoning Ordinance, a nonconforming lot is any existing lawful lot which does not conform to the minimum area and/or width requirements for lots in the district in which it is located, the development of which, however, is in conformance with all other applicable regulations of this Chapter. The existing parcel is classified as an existing nonconforming lot because the lot does not conform to the following dimensional requirements of the BR-1 zoning district:

- The existing 2,712 SF parcel size for the existing single-family detached dwelling does not conform to the required 4,000 SF parcel of the BR-1 zoning district per Section §27-1005.A.
- The existing 30 feet lot width for the existing single-family detached dwelling does not conform to the required 40 feet lot width for single-family detached dwellings of the BR-1 zoning district per Section §27-1005.B.

Per Section §27-703.D of the Borough Zoning Ordinance, physical expansion of a nonconforming building or building housing a nonconforming use shall be permitted only one time and shall be limited to 25% of the gross floor area of the existing building. The gross floor area of the existing one and a half (1½)-story nonconforming building is approximately 1,153 SF. The gross floor area of the proposed three and a half (3½)-story dwelling will be approximately 3,468 SF. The total physical expansion of the nonconforming building will increase by approximately 201%, which is more than the 25% physical expansion permitted per this code section. A variance from this code section will be required from the Conshohocken Borough Zoning Hearing Board for approval to permit a 201% gross floor area building expansion of the nonconforming building, whereas only 25% of the gross floor area building expansion is permitted.

Per Section §27-703.E. of the Borough Zoning Ordinance provides additional code provisions for extension or expansion of a nonconforming use, building, or structure, not including signs, in compliance with all of the following:

- (1) The parcel on which extension or expansion occurs shall include only that lot, held in single and separate ownership, on which the use, building or structure existed at the time it became

nonconforming. The proposed building extension and expansion will be located within the lot held in single ownership by the Applicant, Custom Craft Homes, LLC.

- (2) Nonconforming use of a building may be extended throughout the building only in compliance with Section §27-703.D. The existing and proposed use of the building is residential which is a conforming use within the BR-1 zoning district; and therefore, this code provision does not apply.
- (3) A building, which houses a nonconforming use, may be expanded only in compliance with Section §27-703.D of this Chapter. The existing and proposed building is a residential use which is a conforming use within the BR-1 zoning district; and therefore, this code provision does not apply.
- (4) A nonconforming use may not be extended to a new building. The existing and proposed use is a residential use which is a conforming use within the BR-1 zoning district; and therefore, this code provision does not apply.
- (5) A nonconforming building may be expanded only in compliance with Section §27-703.E.(6) of this Chapter.
- (6) In addition to Section §27-703.A, B, C, D and E above, nonconforming uses must comply with the following:
 - (a) Extension and/or expansion as permitted in Section §27-703.E.(1) through (5) above, shall be permitted only by special exception in accordance with Part 6 of this Chapter, only to the extent that all new construction shall comply with the dimensional standards of the district in which the use is located or the district in which the use is permitted, whichever is more restrictive. Section §27-703.E.(5) requires that a nonconforming building may be expanded in compliance with Section §27-703.E.(6). Section §27-703.E.(6)(a) requires that an extension and/or expansion as permitted in Section §27-703E.(1) through (5) shall be permitted only by a Special Exception which requires approval from the Conshohocken Borough Zoning Hearing Board for the proposed extension and expansion of the nonconforming building.
 - (b) In addition, when a nonconforming use is expanded, the applicant must comply with all performance standards of the district in which the use is permitted or the district in which the use is located, whichever is more restrictive. The performance standards include, but are not limited to, the following: parking, signage lighting, landscaping, noise, and building and impervious coverage. This code provision expands on nonconforming uses. The existing and proposed use of the building is residential which is a conforming use within the BR-1 zoning district; and therefore, this code provision does not apply.
 - (c) In cases where a building is nonconforming as to front, side, or rear yard setback, an addition may be built on a line with the existing building, as long as it does not create an additional encroachment into a required yard. Any further encroachment with regard to required setbacks will require a variance. The proposed building extension and expansion with a 180 SF (or 15 feet wide x 12 feet long) wooden deck attached to the rear of the new building addition will be encroaching into half of the required rear yard area. However, this projection into the required rear yard area is permitted in accordance with Part 8 – General Regulations for projections into the required yards, Section §27-805.B.

In summary, pursuant to Sections 27-703.E.(5) & (6)(a) of the Borough Zoning Ordinance, a nonconforming building may be expanded only in compliance with § 27-703(E)(6) of this Chapter and extension and/or expansion as permitted in § 27-703(E)(1) through (5) above, shall be permitted only by special exception in accordance with Part 6 [Zoning Hearing Board] of this Chapter, only to the extent that all new construction shall comply with the dimensional standards of the district in which the use is located or the district in which the use is permitted, whichever is more restrictive. Therefore, the Applicant is required to seek a Special Exception pursuant to Section §27-703.E.(6)(a) for approval by the

Conshohocken Borough Zoning Hearing Board to permit the extension and expansion of the nonconforming building. In addition, the Applicant will be required to seek a variance from Section §27-703.D of the Borough Zoning Ordinance, to permit a 201% gross floor area building expansion of the nonconforming building, whereas only 25% of the gross floor area building expansion is permitted.

The current impervious coverage on the site is approximately 964 SF (or 36%). With the proposed building extension and expansion and site improvements, the total impervious coverage on the site will increase to approximately 1,366 SF (or approximately 50%), which is in compliance with the required 60% maximum impervious coverage of the BR-1 zoning district.

DEBRA A. SHULSKI
Ext. 210
Debbie@rrhc.com

BOROUGH of CONSHOHOCKEN
OCT 20 '23 PM 12:13
RECEIVED



RILEY RIPER HOLLIN & COLAGRECO
ATTORNEYS AT LAW

October 20, 2023

Via Hand Delivery & email

Allison Lee, Zoning Officer
Borough of Conshohocken
400 Fayette Street
Conshohocken, PA 19428
Zoning@conshohockenpa.gov

**Re: Zoning Application; Craft Custom Homes, LLC
105 East 10th Avenue, Conshohocken, PA 19428**

Dear Allison:

This firm represents Craft Custom Homes, LLC (the "Applicant") with respect to the property located at 105 East 10th Avenue, Conshohocken, Pennsylvania, more specifically identified as Tax Parcel ID No. 05-00-10268-00-5 (the "Property"). The Property is a nonconforming lot with respect to required lot area and lot width, and is improved with a single-family dwelling, which is partially nonconforming with respect to required front and side yard setbacks. The Applicant is proposing to construct a third floor and three-story rear addition to the existing building, which would neither extend the existing nonconforming conditions of the Property nor create new nonconforming conditions. The rear addition would have a footprint of approximately 378 square feet.

To permit this proposed addition to the existing building, Applicant submits the enclosed Zoning Application to the Borough of Conshohocken Zoning Hearing Board (the "Application"), requesting an interpretation that the proposed addition is permitted by right under the Conshohocken Zoning Ordinance. In the alternative, the Applicant requests either special exception approval from Section 27-703.E(6)(a) or variance relief from Section 27-703.D to permit the proposed construction. In connection with the Application, enclosed are two (2) copies of the following materials, unless otherwise specified:

1. Completed Zoning Application to the Zoning Hearing Board of Conshohocken Borough, with addendum;

rrhc.com

PO Box 1265 717 Constitution Drive, Suite 201 Exton, PA 19341 P. 610-458-4400 F. 610-458-4441

2. Zoning Exhibit Plan for 105 East 10th Avenue, prepared by Vastardis Consulting Engineers, LLC, dated October 16, 2023;
3. Property Deed dated August 16, 2023, between Lisa M. Olszewski and John Olszewski, as Grantors, and Craft Custom Homes, LLC, as Grantee;
4. A photo of 105 East 10th Avenue captured via Google Earth Street View;
5. One (1) check made payable to the "Borough of Conshohocken" in the amount of \$250, representing the required Application fee; and
6. One (1) check made payable to the "Borough of Conshohocken" in the amount of \$750, representing the required Escrow review fee.

An electronic version of the above materials, excluding the application and escrow fee checks, is included with the email submission of the Application.

It is my understanding that the Application will be scheduled for a public hearing at the November 20, 2023, meeting of the Zoning Hearing Board and that the Board will provide public notice of the hearing in accordance with Section 27-607 of the Conshohocken Zoning Ordinance. Please advise me if that understanding is incorrect.

Thank you for your attention to this matter. Please do not hesitate to contact me with any questions or concerns or if you require any additional information.

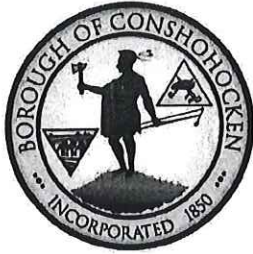
Very Truly Yours,

/s/ Debbie Shulski

DEBRA A. SHULSKI

DAS/rmf
Enclosures

cc: Stephanie Cecco, Borough Manager *(via email w/enclosures)*
Shauna Wylesol, Operations Administrative Assistant *(via email w/enclosures)*
Michael P. Clarke, Esq., Zoning Hearing Board Solicitor *(via email w/enclosures)*
Ryan Alexaki *(via email w/enclosures)*
Nicholas Vastardis *(via email w/enclosures)*
Ryan M. Furlong, Esq. *(via email w/enclosures)*



BOROUGH OF CONSHOHOCKEN

400 Fayette Street, Suite 200, Conshohocken, PA 19428

Phone (610) 828-1092 Fax (610) 828-0920

Zoning Application

Application:	<u>Z-2023-21</u>
Date Submitted:	<u>10/20/2023</u>
Date Received:	<u>10/20/2023</u>

1. Application is hereby made for:

Special Exception Variance

Appeal of the decision of the zoning officer

Conditional Use approval Interpretation of the Zoning Ordinance

Other _____

2. Section of the Zoning Ordinance from which relief is requested:

See enclosed addendum.

3. Address of the property, which is the subject of the application:

105 East 10th Avenue, Conshohocken, PA 19428

4. Applicant's Name: Craft Custom Homes, LLC

Address: 1549 Dowlin Forge Road, Downingtown, PA 19335

Phone Number (daytime): 610-945-7860

E-mail Address: Ryan@builtbycraft.com

5. Applicant is (check one): Legal Owner Equitable Owner ; Tenant

6. Property Owner: Same as Applicant.

Address: _____

Phone Number: _____

E-mail Address: _____

7. Lot Dimensions: 33.9'x80' Zoning District: BR-1

8. Has there been previous zoning relief requested in connection with this Property?

Yes No If yes, please describe.

9. Please describe the present use of the property including any existing improvements and the dimensions of any structures on the property.

See enclosed addendum.

10. Please describe the proposed use of the property.

See enclosed addendum.

11. Please describe proposal and improvements to the property in detail.

See enclosed addendum.

12. Please describe the reasons the Applicant believes that the requested relief should be granted.

See enclosed addendum.

13. If a Variance is being requested, please describe the following:

a. The unique characteristics of the property: See enclosed addendum.

b. How the Zoning Ordinance unreasonably restricts development of the property:
See enclosed addendum.

c. How the proposal is consistent with the character of the surrounding neighborhood. See enclosed addendum.

d. Why the requested relief is the minimum required to reasonably use the property; and why the proposal could not be less than what is proposed.
See enclosed addendum.

14. The following section should be completed if the applicant is contesting the determination of the zoning officer.

a. Please indicate the section of the zoning ordinance that is the subject of the zoning officer's decision (attach any written correspondence relating to the determination).

Not applicable.

b. Please explain in detail the reasons why you disagree with the zoning officer's determination.

Not applicable.

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

See enclosed addendum.

b. Please indicate the section of the Zoning Ordinance related to the relief being requested.

See enclosed addendum.

c. Please describe in detail the reasons why the requested relief should be granted.

See enclosed addendum.

15. If the Applicant is requesting any other type of relief, please complete the following section.

a. Type of relief that is being requested by the applicant.

See enclosed addendum.

16. If the applicant is being represented by an attorney, please provide the following information.

a. Attorney's Name: Debra A. Shulski, Esquire

b. Address: Riley Riper Hollin & Colagreco, 717 Constitution Drive, Suite 201, Exton, PA 19341

c. Phone Number: 610-458-4400

d. E-mail Address: debbie@rrhc.com

15. If the Applicant is requesting any other type of relief, please complete the following section.

I/we hereby certify that to the best of my knowledge, all of the above statements contained in this Zoning Application and any papers or plans submitted with this application to the Borough of Conshohocken are true and correct.

Debra A Shulski
Applicant Attorney for Applicant/Owner

Legal Owner _____

Date 10/20/2023

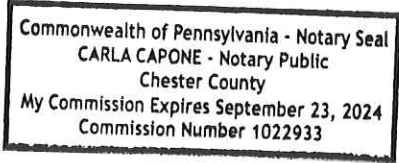
COMMONWEALTH OF PENNSYLVANIA

COUNTY OF MONTGOMERY

As subscribed and sworn to before me this 20th day of OCTOBER, 2023.

Carla Capone
Notary Public

(Seal)





BOROUGH OF CONSHOHOCKEN
400 Fayette Street, Suite 200, Conshohocken, PA 19428
Phone (610) 828-1092 Fax (610) 828-0920

Decision

(For Borough Use Only)

Application Granted

Application Denied

MOTION:

CONDITIONS:

BY ORDER OF THE ZONING HEARING BOARD

	Yes	No
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>

DATE OF ORDER: _____

ADDENDUM TO THE BOROUGH OF CONSHOHOCKEN ZONING APPLICATION
Craft Custom Homes, LLC
105 E. 10th Avenue, Conshohocken, Pennsylvania 19428

Applicant, Craft Custom Homes, LLC, is the owner of property located at 105 E. 10th Avenue, Conshohocken, Pennsylvania 19428, more particularly identified as tax parcel number 05-00-10268-00-5 (the "Property"). The Property is improved with a two-story detached single-family dwelling that has a footprint of 562 square feet and is approximately 1,124 square feet in total area.

A portion of the existing building is located within the required front yard setback and a side yard setback of the Property, which is in the BR-1 Zoning District. Specifically, the Property is located 2.28 feet from its western side yard lot line, where five (5) feet is the minimum setback required by Section 27-1005.E. It is also located 12.7 feet from the 10th Avenue ultimate right-of-way line, where Section 27-1005.C requires that a building be setback from the ultimate right-of-way line a distance equal to either the "established building line" of most buildings on the block, or twenty-five (25) feet if no "established building line" exists. In this case, an established building line of approximately seventeen (17) feet exists on the block; therefore, approximately five (5) feet of the building's frontage is nonconforming. In total, approximately 170 square feet of the building's footprint is nonconforming. The Property itself is also legally nonconforming with respect to its lot area and lot width, since a lot area of 4,000 square feet and a lot width of 40 feet is required in the Zoning District and the Property has a lot area of 2,712 square feet and lot width of 33.9 feet.

The Applicant is proposing to add a third floor and a three-story rear addition to modernize the existing dwelling to current standards of living. The rear addition is proposed to have a footprint of 378 square feet and would comply with all area and bulk requirements of the zoning ordinance, including the required setback distances of the Zoning District. The proposed third floor addition would neither extend the existing nonconforming condition, nor create a new nonconforming condition at the Property, as the proposed addition would simply extend the existing dwelling vertically to a height that is consistent with neighboring homes on the block and is compliant with the maximum height restrictions of the Zoning District.

Through this Application, the Applicant requests the following interpretation and/or relief:

1. An interpretation that the proposed rear and third floor additions, which do not change or increase the existing nonconforming condition of the Property, are permitted by-right pursuant to applicable Pennsylvania case law, which provides that an addition to a nonconforming building is permitted if the addition does not extend or create a new nonconforming condition on the property. *See In re Yocum*, 393 Pa. 148, 155 (1958) (finding that allowance of a second-floor addition to an existing building that did not conform with required setbacks was "neither the grant of a 'variance' nor an 'exception' nor an extension of the use of these premises. It is rather the grant of a logical, reasonable and natural structural change in the building which neither increases any nonconformity of

its use nor violate any provision of the zoning ordinance and in no wise affects the general welfare of the neighborhood or the adjoining property owners.”)

2. In the alternative, an interpretation that Section 27-703 of the Conshohocken Zoning Ordinance restricts the expansion of nonconforming uses, nonconforming uses of buildings, and the nonconforming aspects of a legally nonconforming building by 25% of the area of the existing nonconforming use or condition; therefore, the proposed additions, which do not expand or create a new nonconforming condition, are permitted by-right.
3. In the alternative, special exception relief pursuant to Section 27-703.E(6)(a), or variance relief from Section 27-703.D, to allow the existing dwelling to be expanded by more than 25% of its existing area.
4. Any other interpretation, variance, or other relief deemed necessary by the Board to permit the Applicant’s proposal for the Property.

Interpretation that Addition is Permitted By Right

Pennsylvania law and the Conshohocken Zoning Ordinance distinguish between the expansion of nonconforming uses or nonconforming uses of a building and the expansion of nonconforming buildings.

Section 27-703 of the Conshohocken Zoning Ordinance regulates the expansion of nonconforming structures, uses, and lots. Pursuant to Section 27-703.E(2)-(3), nonconforming uses and nonconforming uses of a building may be expanded only in compliance with Section 27-703.D. Conversely, Section 27-703.E(5), which regulates the expansion of nonconforming buildings, does not reference Section 27-703.D, but instead states that such buildings may be expanded in compliance with Section 27-703.E(6), only. Yet, perhaps contradictory, the text of Section 27-703.D purports to apply to expansion of nonconforming buildings, as well as nonconforming uses, literally providing that “Physical expansion of a nonconforming building or building housing a nonconforming use shall be permitted only one time and shall be limited to 25% of the gross floor area of the existing building.”

Another potential contradiction in this Section of the Ordinance is that although the expansion of nonconforming buildings is regulated by Section 27-703.E(6), some portions of that subsection explicitly apply only to the expansion of nonconforming uses. For example, Section 27-703.E(6) begins, “In addition to [the above subsection], nonconforming *uses* must comply with the following[.]” (emphasis added). Similarly, Section 27-703.E(6)(b) specifically applies “when a nonconforming *use* is expanded” and does not reference expansion of nonconforming buildings. (emphasis added).

This Board may resolve these potential contradictions through an interpretation of Section 27-703, which permits an addition to be built to a nonconforming building, provided that the addition does not expand the nonconforming features of the building by more than 25% of the building’s nonconforming area. This reading would allow for consistent application of the rules

for expanding nonconforming buildings and nonconforming uses, as this interpretation would allow the nonconforming conditions of the building to be expanded by 25%, similar to how the area of nonconforming uses may be expanded by 25% under the Ordinance. If interpreted differently, an inequitable result would occur where, as here, a building that is minimally dimensionally noncompliant could expand by only 25%, even if the proposed expansion complies with all provisions of the Ordinance.

Therefore, Section 27-703 should be interpreted to allow by special exception a 25% expansion of nonconforming uses/uses of buildings and the *nonconforming area* of a nonconforming building. Here, consistent with *In re Yocum*, the Applicant is neither proposing to expand the existing nonconforming conditions nor create a new nonconforming condition. Therefore, the proposed additions, which comply with the area and bulk restrictions of the Zoning Ordinance, should be permitted by right.

In the Alternative, Applicant Requests Special Exception Approval or Variance Relief

In the alternative, if the Board determines that *any* addition to a dimensionally nonconforming building requires special exception approval pursuant to Section 27-703.E(6)(a), then the Applicant requests special exception approval; or, in the alternative, variance relief from Section 27-703.D, to allow the building to be expanded by more than 25% of its current area.

The Applicant's proposal meets the standards for a variance. There is a unique hardship complying with Section 27-703.D of the Conshohocken Ordinance due to the uniquely small size of the existing building. The existing building is approximately 1,124 square feet; therefore, the 25% expansion limitation uniquely affects the redevelopment of this Property. Applicant did not cause this hardship, as the hardship was created when the front and side yard setbacks of the BR-1 Zoning District were amended in a way that rendered the existing building dimensionally nonconforming. Authorizing the requested variance would neither alter the essential character of the neighborhood, nor substantially or permanently impair the appropriate use or development of adjacent property, nor be detrimental to the public welfare. Conversely, the Applicant's proposal would cause the existing dwelling, which does not fit with the character of the existing neighborhood, to be redeveloped into a home that matches the character and aesthetic of the community. Finally, the proposed size of the home, as well as the requested variance, is the minimum necessary to afford relief, as a smaller home would not fit the character of the neighborhood or be suitable for modern living standards.

Moreover, the Applicant's request should be considered a *de minimis* variance because the existing dwelling is barely nonconforming with respect to its front and side yard setback. Had the existing dwelling, with its exact footprint, been located approximately two and a half (2.5) feet further east, and approximately five (5) feet further south, then the structure and the Applicant's proposed addition would be compliant with all required setbacks of the BR-1 Zoning District and no zoning relief would be necessary.

Based on the foregoing, Applicant requests an interpretation of the Conshohocken Borough Zoning Ordinance that the proposed addition is permitted by-right. In the alternative, Applicant requests special exception approval pursuant to Section 27-703.E(6)(a) or variance relief from

Section 27-703.D, to allow the existing dwelling to be expanded by more than 25% of its existing area.

The Applicant will present additional evidence and legal argument related to the above request for relief at the time of the hearing.

Untitled Map

Write a description for your map.

Legend

 105 E 10th Ave

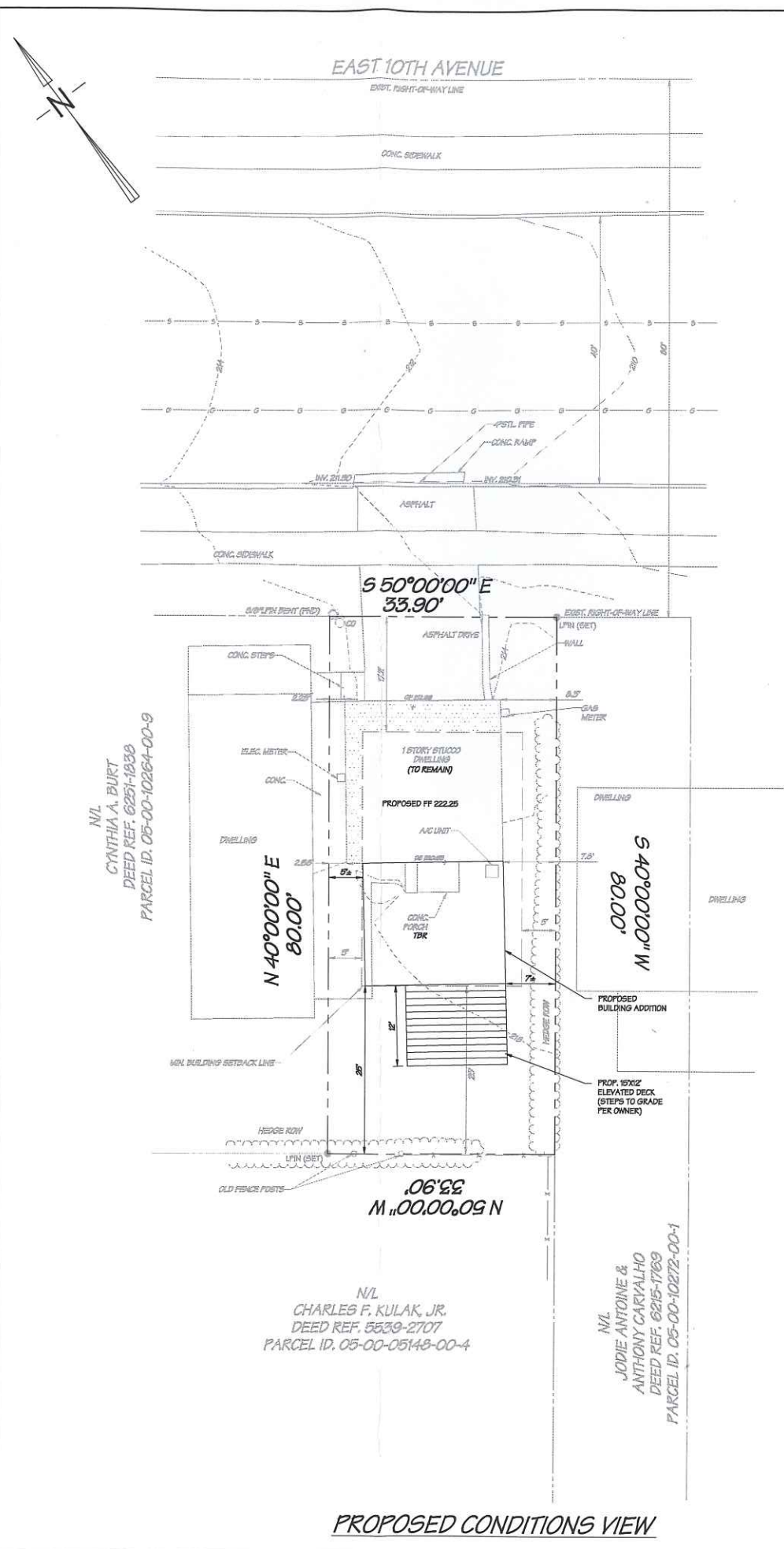
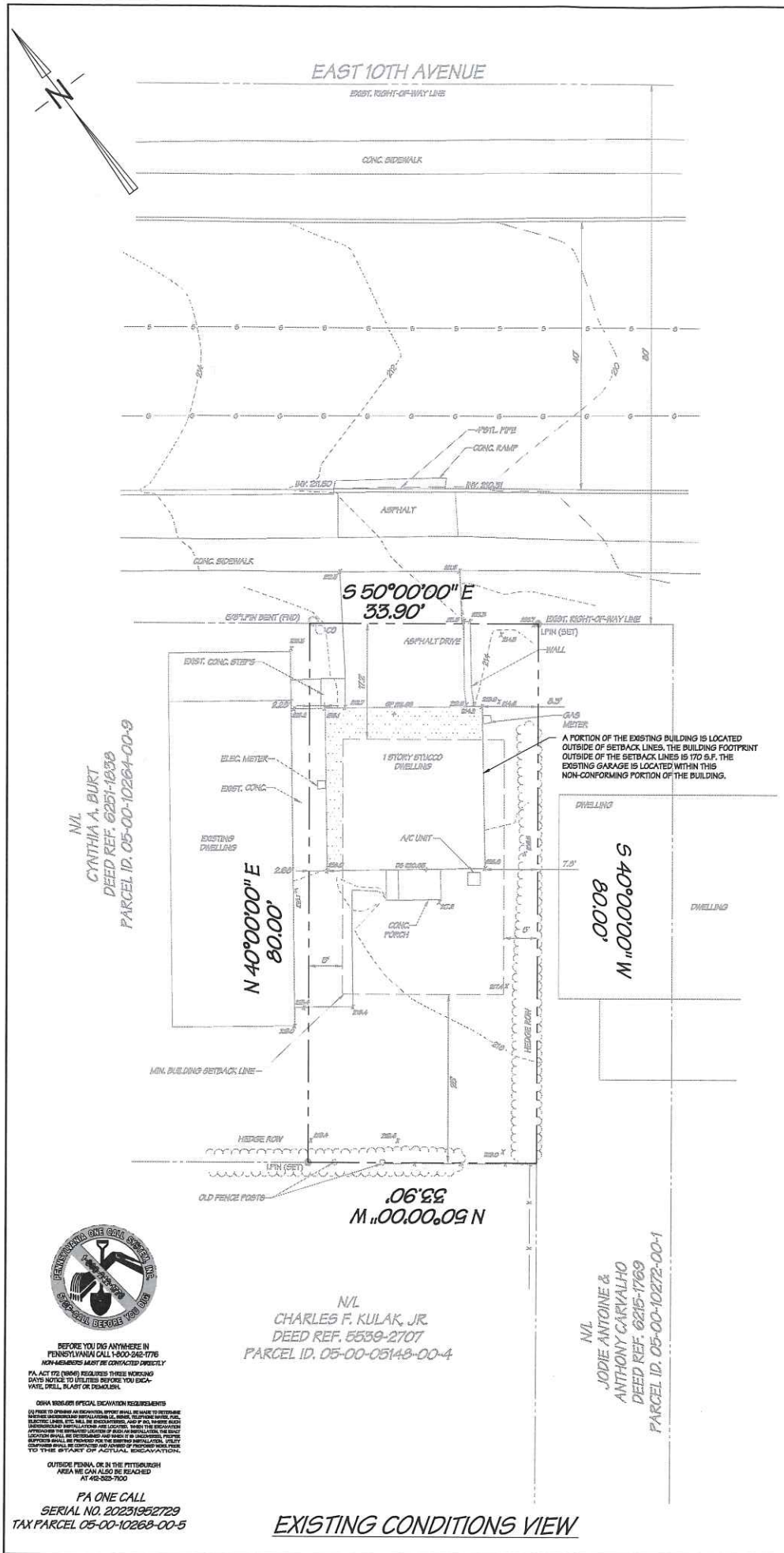



Google Earth

© 2023 Google



7.85 ft





LOCATION MAP
NOT TO SCALE

GENERAL NOTES

- PHYSICAL FEATURES SHOWN HEREON OBTAINED BY A FIELD SURVEY COMPLETED ON JUNE 8, 2023.
- HORIZONTAL DATUM IS REFERENCED TO PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NAD83. VERTICAL DATUM IS REFERENCED TO NAVD83 HORIZONTAL AND VERTICAL DATUM ESTABLISHED BY GPS OBSERVATION.
- BOUNDARY LINE RELATIONS ARE REFERENCED TO THE DEED.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- THIS PLAN IS REPRESENTATIVE OF EXISTING CONDITIONS FOR WHICH VASTARDIS CONSULTING ENGINEERS, LLC WAS CONTRACTED TO PERFORM EXCEPT ANY RECORDED OR UNRECORDED ENCUMBRANCES WHICH MAY NOT BE VISIBLE OR SUPPLIED TO VASTARDIS CONSULTING ENGINEERS, LLC.
- THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION. VASTARDIS CONSULTING ENGINEERS, LLC (VCEL) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. VCEL DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION. THEREFORE, VCEL SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED OR IDENTIFIED. VCEL HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
- THIS PROPERTY IS LOCATED OUTSIDE OF THE FEMA DESIGNATED ZONE AND IS THEREFORE NOT LOCATED WITHIN THE BOROUGH FLOOD PLAN CONSERVATION DISTRICT.

ZONING REQUIREMENT
R-1 BOROUGH RESIDENTIAL 1

	REQUIRED	EXISTING	PROPOSED FOR ADDITION
MIN. LOT AREA	4,000 S.F.	2,762 S.F.***	2,762 S.F.
MIN. LOT WIDTH	40 FT.	35.9 FT.***	35.9 FT.
MIN. FRONT YARD SETBACK	17.2 FT.**	12.7 FT.***	12.7 FT.
MIN. SIDE YARD SETBACK	5 FT.	2.29 FT.***	5.0 FT.
MIN. REAR YARD SETBACK	25 FT.	45.8 FT.	25 FT.
MAX. BUILDING AREA	30%	20.7%	34.7%
MAX. IMPERVIOUS SURFACES	60%**	31.0%	40.5%
MAX. BUILDING HEIGHT	35 FT.	<35 FT.	<35 FT.
MIN. BUILDING WIDTH	20 FT.	23.3 FT.	21.0 FT.

* EXCEPT WHERE THERE IS AN ESTABLISHED BUILDING LINE, THEN THE BUILDING LINE OF THE MAJORITY OF THE BUILDINGS ON THAT SIDE OF THE BLOCK SHALL BE USED.

** THE MAXIMUM IMPERVIOUS COVERAGE SHALL NOT EXCEED 60% OF THE LOT AREA PER SECTION 27-100.6 OF THE ZONING ORDINANCE. A MAXIMUM OF TWO PERMANENT REAR OFF-STREET PARKING SPACES PER SINGLE-FAMILY DWELLING MEASURING NINE FEET BY 15 FEET MAY BE EXCLUDED FROM THE IMPERVIOUS COVERAGE CALCULATION. SUCH SPACES WILL BE SUBJECT TO REVIEW BY THE BOROUGH ENGINEER TO DETERMINE THAT THERE ARE NO ADVERSE EFFECTS RELATED TO DRAINAGE AND STORMWATER MANAGEMENT. THE COST OF THE ENGINEERING REVIEW WILL BE BORNE BY THE HOMEOWNER. IMPERVIOUS COVERAGE FOR PRIVATE GARAGES SHALL BE SUBJECT TO THE PROVISIONS OF § 27-91C.

*** EXISTING NON-CONFORMITY

THERE SHALL BE NO PARKING LOTS OR REQUIRED OFF-STREET PARKING SPACES PERMITTED BETWEEN THE FRONT WALL OF A PRINCIPAL STRUCTURE AND THE CURB OF THE STREET TOWARD WHICH THAT WALL IS ORIENTED IN THE R-1 DISTRICT.

REFER TO CONSHOHOCKEN BOROUGH ZONING ORDINANCE FOR ANY ADDITIONAL REGULATIONS THAT MAY APPLY.

PROPERTY OWNER
CRAFT CUSTOM HOMES, LLC
6 POPLAR STREET
CONSHOHOCKEN, PA 19428

PROPERTY ADDRESS & INFORMATION
105 EAST 10TH AVENUE
CONSHOHOCKEN, PA 19428
DEED REF. 6082-2422
PARCEL ID. 05-00-10268-00-5

IMPERVIOUS COVERAGE ** (SEE NOTE ABOVE)**

	EXISTING	TO BE REMOVED	PROPOSED	NET NEW PROPOSED
DWELLING	562 S.F.	0 S.F.	379 S.F.	840 S.F.
DRIVE	0 S.F. +	0 S.F. +	0 S.F. +	0 S.F. +
CONCRETE	276 S.F.	227 S.F.	108 S.F.	159 S.F.
DECK/STEPS	0 S.F.	0 S.F.	198 S.F. +	198 S.F. +
TOTAL	840 S.F.	227 S.F.	486 S.F.	1,089 S.F.

NET IMPERVIOUS INCREASE = 1,089 - 840 = 249 S.F.
PROJECT IS EXEMPT FROM STORMWATER MANAGEMENT REQUIREMENTS, PER ORDINANCE, AS NET IMPERVIOUS INCREASE IS LESS THAN 600 S.F.

+ EXISTING DRIVEWAY IS NET 0 S.F.
(EXISTING = 221 S.F. HOWEVER, DOES NOT INCLUDE 2 EA., 5'x9' OFF-STREET PARKING SPACES (324 S.F.) PER ORDINANCE HENCE NET IS 0 S.F.)
(PROPOSED = 269 S.F. HOWEVER, DEDUCTING THE 324 S.F. YIELDS A NET 0 S.F.)

++ OPEN DECK/STEPS ARE NOT CONSIDERED IMPERVIOUS FOR ZONING OR FOR STORMWATER MANAGEMENT PURPOSES PER ORDINANCE.

LEGEND

- EXIST. 10' CONTOURS
- EXIST. 2' CONTOURS
- EXIST. BOUNDARY LINE
- EXIST. RIGHT-OF-WAY
- EXIST. BUILDING SETBACK LINE
- EXIST. FENCE LINE
- EXIST. SANITARY SEWER
- EXIST. GAS LINE
- EXIST. SPOT ELEVATION
- EXIST. DOOR SILL ELEVATION
- EXIST. IRON PIPE
- EXIST. CLEANOUT
- EXIST. IRON PIN SET
- TEMPORARY COMPOST FILTER SOCK
- LIMIT OF DISTURBANCE
- SOIL TYPE BOUNDARY

GRAPHIC SCALE
0' 10' 20' 30'

NUM.	DATE	REVISION

VASTARDIS CONSULTING ENGINEERS, LLC
28 Harvey Lane | Malvern, PA 19360 | P: 610.644.8600 | F: 610.644.3700 | Email: vcel@vaston.com

PLAN PREPARED FOR:
CRAFT CUSTOM HOMES, LLC
105 EAST 10TH AVENUE

BOROUGH OF CONSHOHOCKEN | MONTGOMERY COUNTY | PENNSYLVANIA

DRAWN BY: SK
CHECKED BY: NY
DATE: 10-16-23
SCALE: 1"=10'

SHEET 1 of 1

ZONING EXHIBIT PLAN

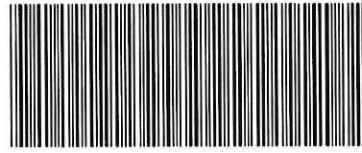
NICHOLAS L. VASTARDIS, P.E.



RECORDER OF DEEDS
MONTGOMERY COUNTY
Jeanne Sorg

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 6336 PG 00935 to 00939
INSTRUMENT # : 2023043514
RECORDED DATE: 08/17/2023 08:58:00 AM




6245187-0024W

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

<p>Document Type: Deed Document Date: 08/16/2023 Reference Info:</p>	<p>Transaction #: 6811870 - 3 Doc(s) Document Page Count: 4 Operator Id: ahelfer</p>
<p>RETURN TO: (Simplifile) Aaron Abstract 526 Township Line Road Blue Bell, PA 19422 (215) 283-4800</p>	<p>PAID BY: AARON ABSTRACT</p>
<p>* PROPERTY DATA: Parcel ID #: 05-00-10268-00-5 Address: 105 E TENTH AVE CONSHOHOCKEN PA 19428 Municipality: Conshohocken Borough (100%) School District: Colonial</p>	
<p>* ASSOCIATED DOCUMENT(S):</p>	
<p>CONSIDERATION/SECURED AMT: \$225,000.00 TAXABLE AMOUNT: \$225,000.00 FEES / TAXES: Recording Fee:Deed \$65.50 State RTT \$2,250.00 Conshohocken Borough RTT \$1,125.00 Colonial School District RTT \$1,125.00 Total: \$4,565.50</p>	<p>DEED BK 6336 PG 00935 to 00939 Recorded Date: 08/17/2023 08:58:00 AM I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.  Jeanne Sorg Recorder of Deeds</p>

Rev1 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION

Prepared by and Return to:

AARON ABSTRACT COMPANY
526 Township Line Road
Suite 200
BLUE BELL, PA 19422
215-283-4800

File No. AAF11360

UPI # 05-00-10268-00-5

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
05-00-10268-00-5 CONSHOHOCKEN BOROUGH
105 E TENTH AVE
OLSZEWSKI LISA M & JOHN \$15.00
B 050 L U 041 1101 08/16/2023 JU

This Indenture, made the 16th day of August, 2023,

Between

LISA M. OLSZEWSKI AND JOHN OLSZEWSKI

(hereinafter called the Grantors), of the one part, and

CRAFT CUSTOM HOMES LLC

(hereinafter called the Grantee), of the other part,

Witnesseth, that the said Grantors for and in consideration of the sum of **Two Hundred Twenty-Five Thousand And 00/100 Dollars (\$225,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantee

ALL THAT CERTAIN lot or piece of land with the buildings and improvements thereon erected, Situate in the Borough of Conshohocken, County of Montgomery, Commonwealth of Pennsylvania, bounded and described in accordance with a survey and subdivision made for Francis Carr, by Donald H. Schurr, and Associates, Engineers and Surveyors dated 4-28-1969 as follows, to wit;

BEGINNING at a point on the Southwesterly side of East Tenth Avenue (80 feet wide) which point is measured South 50 degrees 00 minutes East 26.10 feet from the intersection of the same with the Southeasterly side of Harry Street (50 feet wide); thence from said point of beginning, extending along the said Southwesterly side of East Tenth Avenue South 50 degrees 00 minutes East, 33.90 feet to a point a corner of said land of Thomas A. Fosard; thence extending along the same South 40 degrees 00 minutes West 80.00 feet to a point a corner of lands of Charles F. Kulak; thence extending along the same North 50 degrees 00 minutes West, 33.90 feet to a point a corner of Parcel "A" on said plan; thence extending along the same North 40 degrees 00 minutes East 80.00 feet to the first mentioned point and place of BEGINNING.

BEING Parcel "B" on said plan.

PARCEL NO. 05-00-10268-00-5

BEING the same premises which Daniel J. Smith, by Deed dated December 30, 1994 and recorded March 2, 1995 in the Office of the Recorder of Deeds in and for the County of Montgomery in Deed Book 5106, Page 1680, granted and conveyed unto Daniel J. Smith and Lisa Marie Smith, as joint tenants with right of survivorship.

AND THE SAID Daniel J. Smith, has since departed this life on 06/19/2017, leaving title vested in Lisa Marie Smith by right of survivorship.

AND ALSO BEING the same premises which Lisa M. Olszewski, Executrix of the Estate of Daniel J. Smith, deceased and Lisa M. Olszewski (formerly known as Lisa Marie Smith), by Deed dated March 16, 2018, and recorded March 16, 2018, in the Office of the Recorder of Deeds in and for the County of Montgomery, Pennsylvania, in Book 6082, Page 2422, granted and conveyed unto Lisa M. Olszewski and John Olszewski, in fee.

Together with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of them, the said grantors, as well at law as in equity, of, in and to the same.

To have and to hold the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, to and for the only proper use and behoof of the said Grantee, its successors and assigns, forever.

And the said Grantors, for themselves and their heirs, executors and administrators, do, by these presents, covenant, grant and agree, to and with the said Grantee, its successors and assigns, that they, the said Grantors, and their heirs, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against them, the said Grantors, and their heirs, will **WARRANT SPECIALLY** and defend against the lawful claims of all persons claiming by, through or under the said Grantors but not otherwise.

In Witness Whereof, the parties of the first part have hereunto set their hands and seals. Dated the day and year first above written.

Sealed and Delibered
IN THE PRESENCE OF US:

Lisa M. Olszewski {SEAL}
Lisa M. Olszewski

John Olszewski {SEAL}
John Olszewski

Commonwealth of Pennsylvania } ss
County of Montgomery }

This record was acknowledged before me on August 16, 2023 by Lisa M. Olszewski and John Olszewski.

Commonwealth of Pennsylvania - Notary Seal
Karen Mancini, Notary Public
Montgomery County
My commission expires April 8, 2026
Commission number 1043095
Member, Pennsylvania Association of Notaries

Karen Mancini
Notary Public
My commission expires 4-8-26

The precise residence and the complete post office address of the above-named Grantee is:

1549 Downin Forge Road
Downingtown, PA 19335

[Signature]
On behalf of the Grantee

File No. **AAF11360**

Record and return to:

AARON ABSTRACT COMPANY
526 Township Line Road, Suite 200
BLUE BELL, PA 19422